

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET		
LIMIT OF WORK	---	---
LIMIT OF DISTURBANCE	---	---
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	GRATE INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING

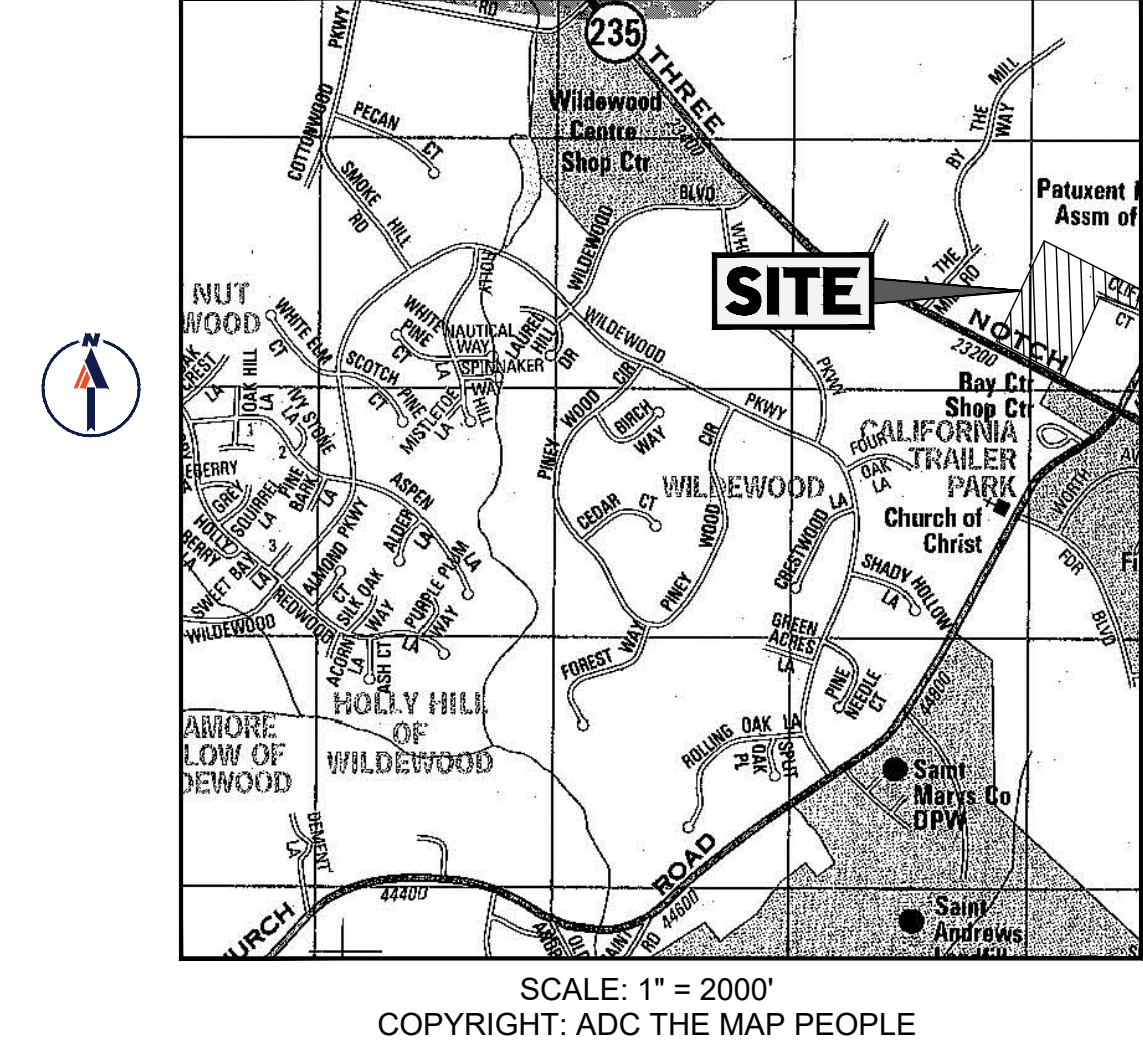
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
LP	LOW POINT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
SW	SIDEWALK
TBA	TO BE ABANDONED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TBV	TO BE VACATED
TC	TOP OF CURB
TELE	TELEPHONE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W	WIDE
WL	WATER LINE
W/M	WATER METER
±	PLUS OR MINUS
°	DEGREE
∅	DIAMETER
#	NUMBER

CONCEPT SITE PLAN

FOR
TIDAL WAVE AUTO SPA

PROPOSED
CAR WASH W/ DRIVE-THRU

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47
CSP23-0309



OWNER
MIKE MCGRATH
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CONTACT: MATTHEW C. SENENMAN

REFERENCES AND CONTACTS

REFERENCES	CONTACTS
1. BOUNDARY & TOPOGRAPHIC SURVEY: TITLE: "NVA220451AL TO SIGNED.PDF" DATED: 2/6/22 MDE230016.00 ELEVATIONS: NAVD 1988	3. WETLAND DELINEATION FROM SURVEY: TITLE: "MDE230016AL1.PDF" PREPARED BY: BOHLER ENGINEERING DATED: 06/16/23
2. GEOTECHNICAL INVESTIGATION REPORT: TITLE: "NVA220451.00 - REPORT OF GEOTECHNICAL INVESTIGATION, DATED 12-16-22.PDF" PREPARED BY: WHITESTONE DATED: 12/16/2022	4. UTILITY INFORMATION FROM APPROVED ST MARYS MARKETPLACE PLANS: TITLE: "APPROVED MSP PHASE II PLANS.PDF" PREPARED BY: BOHLER ENGINEERING DATED: 01/25/17
UTILITY/GOVERNING AGENCIES ♦ ST MARYS COUNTY DEPARTMENT OF LAND USE AND GROWTH MANAGEMENT: 23 LEONARD HALL DRIVE LEONARDTOWN, MD 20650 PHONE: (301) 475-4200	♦ ST MARYS COUNTY SOIL CONSERVATION DISTRICT: 28127 RADIO STATION WAY, SUITE B LEONARDTOWN, MD 20650 PHONE: (301) 475-8402
♦ ST MARYS COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION: 44825 ST. ANDREWS CHURCH ROAD CALIFORNIA, MD 20619 PHONE: (301) 963-8400	♦ ST MARYS COUNTY HEALTH DEPARTMENT: 21580 PEABODY STREET LEONARDTOWN, MD 20650 PHONE: (301) 475-4300
♦ WATER AND SEWER METROPOLITAN COMMISSION: 43990 COMMERCE AVE. HOLLYWOOD, MD 20636 PHONE: (301) 373-4733	♦ ELECTRIC: SMECO 23365 HOLLYWOOD RD LEONARDTOWN, MD 20650 PHONE: (301) 475-1582
♦ TELEPHONE: VERIZON 3901 CALVERTON BLVD, 3RD FLOOR BELTSVILLE, MD 20705 PHONE: (301) 595-2332 LEONARDTOWN, MD 20650 PHONE: (301) 475-4200	

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
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EROSION AND SEDIMENT CONTROL PLAN	5
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POST-DEVELOPMENT DRAINAGE AREAS	7

CONSULTANTS CERTIFICATION

"I CERTIFY THAT THIS CONCEPT EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN REPRESENTS ALL SIGNIFICANT NATURAL RESOURCES BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE REVIEW AGENCIES. I HAVE REVIEWED THIS CONCEPT PLAN WITH THE OWNER/DEVELOPER."

SIGNATURE: *Matthew C. Senenman* MD LICENSE # 43200
PRINT NAME: MATTHEW C. SENENMAN, P.E. DATE: 01/12/24



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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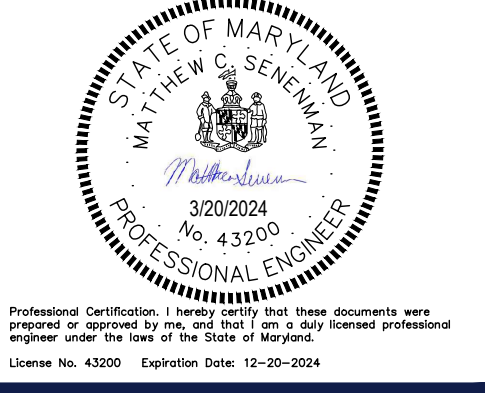
PROJECT No.:	MDE230016.00
DRAWN BY:	DR
CHECKED BY:	MP
DATE:	01/19/2024
CAD ID:	CND5-0

CONCEPT SITE PLAN

FOR
TIDAL WAVE

PROPOSED CAR WASH
23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
ST MARYS COUNTY
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47
CSP23-0309

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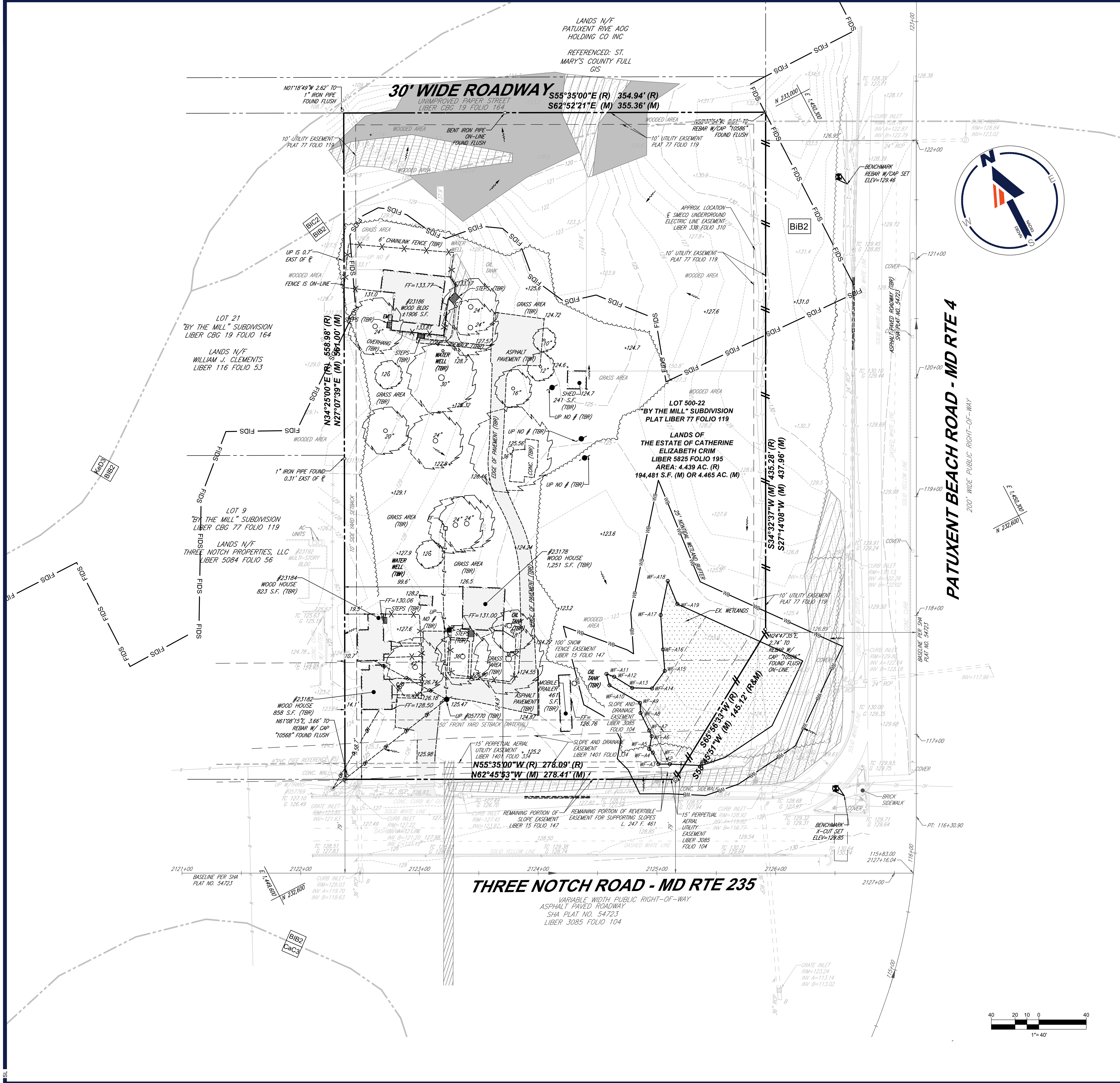


COVER SHEET

SHEET NUMBER:
1
OF 7
ORG. DATE - 3/20/2024

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE ORDINANCES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORKS AS DEFINED BY THE DRAWINGS AND ALL CONCERNING REGULATIONS, ORDINANCES AND CODES.

Mar 20, 2024 10:08 AM C:\Users\mccgrat\Documents\PROJECTS\2023\3\CSP23-0309\CSP23-0309\CONCEPTUAL SITE PLAN\MDE230016.00\CND5-0.dwg - LAYOUT 1 - COVER



LEGEND	
	FLOW ARROWS
	ONSITE PROPERTY LINE / R.O.W. LINE
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
	EASEMENT LINE
	SETBACK LINES
	EXISTING CONTOURS
	SOILS BOUNDARY
	SOILS TYPE
	EX. WATER LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	EX. OVERHEAD WIRE
	EX. STORM SEWER
	EX. SANITARY SEWER MAIN
	EX. FIRE HYDRANT
	EX. SANITARY MANHOLE
	EX. STORM MANHOLE
	EX. GRATE INLET
	EX. UTILITY POLE
	PROPOSED CONTOURS
	EXISTING IMPERVIOUS AREA
	DRAINAGE AREA DIVIDE
	EXISTING 15% SLOPE
	EXISTING 25% SLOPE
	EXISTING WETLAND TO REMAIN
	FIDS HABITAT DELINEATION

NOTES:
 DEVELOPMENT PROPOSALS LOCATED ON LANDS IN THE PATUXENT RIVER WATERSHED SHALL BE REQUIRED TO DESIGN AND IMPLEMENT THE FOLLOWING ADDITIONAL MEASURES TO PREVENT SEVERE EROSION OF HIGHLY ERODIBLE SOILS LOCATED ON AND OFF-SITE FROM THE EFFECTS OF ALTERED DRAINAGE PATTERNS AND DISCHARGE OF CONCENTRATED RUNOFF:

- ANY CONCENTRATION OF RUNOFF THAT WILL FLOW ACROSS HIGHLY ERODIBLE SOILS LOCATED BETWEEN THE POINT OF CONCENTRATION OF RUNOFF TO THE POINT OF ENTRY OF THE RUNOFF INTO A PERENNIAL STREAM OR OTHER WATERS OF THE STATE SHALL BE MANAGED USING BOTH STRUCTURAL AND NONSTRUCTURAL BEST MANAGEMENT PRACTICES ON-SITE AND OFF-SITE.
- PROVISIONS FOR ACCESS, INSTALLATION, AND MAINTENANCE OF THE BMP'S SHALL BE REQUIRED FOR BOTH ON SITE AND OFFSITE MEASURES.

DESIGN NARRATIVE:

- NATURAL RESOURCES PROTECTION, ENHANCEMENT, AND PRESERVATION.
 - DEVELOPMENT HAS BEEN LOCATED TO AVOID IMPACTS TO WETLANDS AND PRESERVE HIGHEST QUALITY FOREST AREAS.
 - THE CURRENT SITE DESIGN ALLOWS FOR FOREST RETENTION ALONG THE NORTHERN PROPERTY LINE WHERE THERE IS A LARGE AMOUNT OF CONTIGUOUS FOREST ON THE NEIGHBORING PROPERTY.
 - DEVELOPMENT HAS BEEN LOCATED TO AVOID THE HIGHER QUALITY PARTS OF STAND B (ALONG THE NORTHERN PROPERTY LINE).
 - DEVELOPMENT LARGELY AVOIDS IMPACTS TO STAND A, THE HIGHEST QUALITY STAND ON-SITE.
 - APPLICANT PROPOSES TO PROTECT 1.96 ACRES OF EXISTING FOREST IN CONSERVATION EASEMENTS IN PERPETUITY, MORE THAN DOUBLE THE CONSERVATION THRESHOLD FOR THIS PROPERTY.
- MAINTENANCE OF NATURAL FLOW PATTERNS
 - TO THE EXTENT PRACTICABLE, NATURAL FLOW PATTERNS ARE MAINTAINED. SEE SHEETS 6 AND 7 OF CSP FOR COMPARISON OF EXISTING AND PROPOSED DRAINAGE AREAS. THE EXISTING SITE OUTFALL TO THE NORTH AND SOUTHEAST ARE BOTH MAINTAINED.
- REDUCTION OF IMPERVIOUS AREAS THROUGH BETTER SITE DESIGN, ALTERNATIVE SURFACES, AND NONSTRUCTURAL PRACTICES.
 - THE IMPERVIOUS AREAS ADDED TO THE SITE ARE LIMITED TO WHAT IS NECESSARY FOR ADEQUATE SITE FUNCTIONALITY. THERE ARE 3 BIOTENTIONS PROVIDED.
- INTEGRATION OF EROSION AND SEDIMENT CONTROLS INTO THE STORMWATER STRATEGY.
 - PROPOSED BIOTENTION AREAS CAN BE UTILIZED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. DETAILS AND PHASING WILL BE PROVIDED WITH FINAL DESIGN PLANS.
- IMPLEMENTATION OF ESD PLANNING TECHNIQUES AND PRACTICES TO THE MEP.
 - BIOTENTIONS ARE BEING PROVIDED TO FULLY PROVIDE ESD REQUIREMENTS.

SOIL CLASSIFICATION NOTE:

1. ALL SOILS ON THE PROPOSED SITE ARE CLASSIFIED AS BIB2, BELTSVILLE SILT LOAM, 2 TO 5 PERCENT SLOPES, MODERATELY ERODED, WITH A HYDROLOGIC SOIL GROUP OF C.

SOIL TYPES					
SYMBOL	SOIL SERIES	HYDRIC SOIL	SOIL ERODIBILITY K FACTOR	SLOPES	HYDROLOGIC SOIL GROUP
BIB2	BELTSVILLE SILT LOAM, 2 TO 5 PERCENT SLOPES, MODERATELY ERODED	NO	NA	2 - 5 %	C

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PROJECT No.: MDB230016.00
 DRAWN BY: DR
 CHECKED BY: MP
 DATE: 01/19/2024
 CAD ID: LOT 500-22
 DRIN-0

CONCEPT SITE PLAN
 FOR
 TIDAL WAVE

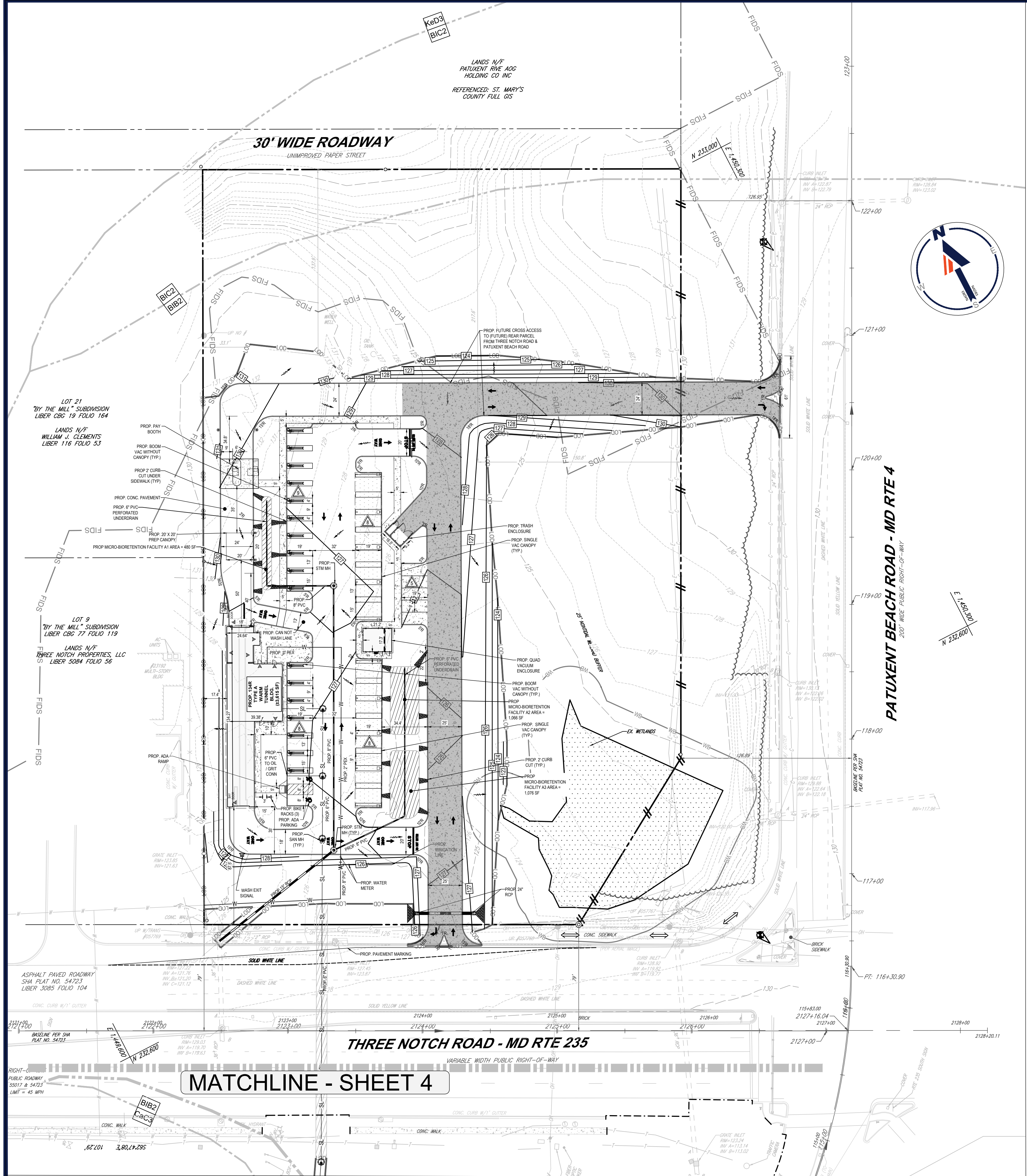
PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 LOT 500-22
 TAX MAP 34, GRID 16, PARCEL 47
 CSP23-0309

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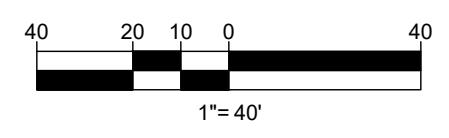
STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 43299
 3/20/2024
 License No. 43200 Expiration Date: 12-30-2024

SHEET TITLE:
EXISTING CONDITIONS
 SHEET NUMBER:
2
 OF 7
 ORG. DATE - 3/20/2024

Mar 20, 2024
 \BOHLER\NET\SHARED\MD-PROJECTS\2023\2303\230303\230303\CONCEPTUAL SITE PLAN\MD230016.00-EXIST-G-1-KAYOUT-2 - EXST



LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.



CONCEPT SITE PLAN GENERAL NOTES:

- THIS PLAN IS BASED UPON:
 - TITLE: "NYA220451A1.T0 SIGNED PDF" DATED A.A.1: 2/6/22 MDR230016.00 ELEVATIONS: NAVD 1988
 - TITLE: "SR12058AL.T2 SIGNED PDF" PREPARED BY: BOHLER ENGINEERING DATED: 05/26/15
- PROPERTY DATA:
 - TAX MAP: 34, GRID: 16, PARCEL: 47
 - ZONING: MAM
 - ZONING OVERLAY: AE-4, AREA: 4.40 AC (191,664 SF)
 - DEED: 5825/195
 - EX. WATER CATEGORY W-3D, EX. SEWER CATEGORY S-3D
 - PROP. WATER CATEGORY W-3D, PROP. SEWER CATEGORY S-3D
- USE:
 - EXISTING: RESIDENTIAL
 - PROPOSED: CAR WASH (#62)
- POTENTIAL FIDS HABITAT EXISTS ON SITE, AS SHOWN ON SHEET TWO OF THIS PLAN.
- PEAK HOUR TRIPS FOR PROPOSED DEVELOPMENT: 138
- THE MICROBIORETENTION FACILITIES WERE CHOSEN TO TREAT STORMWATER FOR THIS SITE BECAUSE THE PROPOSED DEVELOPMENT INCLUDES A CAR WASH BUILDING AND PARKING LOT AREAS. WATER WILL BE ROUTED FROM THE PARKING LOT AS SHEET FLOW INTO THE BIORETENTION FACILITIES VIA CURB CUTS FOR TREATMENT.

4. BULK REQUIREMENTS:		ALLOWED/REQUIRED	PROVIDED
A. MIN. LOT DIMENSIONS			
MINIMUM LOT AREA	NONE	191,664 SF +/-	
MINIMUM LOT WIDTH	NONE	408.8' +/-	
MINIMUM LOT DEPTH	NONE	405.6' +/-	
MINIMUM LOT FRONTAGE	NONE	170.8' +/-	
B. DEVELOPMENT INTENSITY			
MAX FOOTPRINT OF A COMMERCIAL STRUCTURE BY RIGHT	40,000 SF	3,615 SF +/-	
MAXIMUM BUILDING HEIGHT	100'	25' +/-	
BASE FLOOR AREA RATIO	0.60	0.04 (3,615/95,525)	
MAXIMUM FLOOR AREA RATIO	0.75	0.04	
C. MIN. BUILDING SETBACK			
FRONT SETBACK	50'		
REAR SETBACK	20'		
SIDE SETBACK	10'		
SIDE SETBACK	10'		
MIN. SEPARATION BETWEEN DETACHED PRINCIPAL STRUCTURES	0	N/A	
D. PARKING/LOADING REQUIREMENTS			
CAR WASH (3,615 SF) 2 PER SERVICE BAY OR 1 PER 1,000 SQ. FT. WHICHEVER IS GREATER, PLUS QUEUE FOR 2 CARS PER WASH STATION	30	15 SERVICE BAYS + 23 PARKING SPACES	
TOTAL	30	38	
ADA SPACES: 1 FOR 1-25 SPACES 2 FOR 26-50 SPACES (33 SPACES = 2 ADA SPACE)	2 (1 VAN ACCESSIBLE)	2 (1 VAN ACCESSIBLE)	
STANDARD LOADING SPACE	N/A	N/A	
MIN. PARKING SPACE DIMENSIONS	9' x 18'	9' x 19'	
MIN. DRIVE AISLE WIDTH	22' (TWO WAY TRAFFIC)	25' (TWO WAY TRAFFIC)	
E. PARKING LOT LANDSCAPING STANDARDS			
PARKING AREA (10% OF NET PARKING LOT AREA PLUS 200 S.F. PER SPACE IN EXCESS OF CODE REQUIREMENT)	1,460 SF (10'x14,601)	947 SF*	
MIN. ONE (1) TREE PER 10 SPACES WITHIN PARKING LOT	2	2	
MIN LANDSCAPED AREA (TOTAL SITE)	20% (38,332 SF)	10.3% (19,759 SF)	

LEGEND			
[Symbol]	FLOW ARROWS	[Symbol]	EX. STORM SEWER
[Symbol]	ONSITE PROPERTY LINE / R.O.W. LINE	[Symbol]	EX. SANITARY SEWER MAIN
[Symbol]	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	[Symbol]	EX. FIRE HYDRANT
[Symbol]	EASEMENT LINE	[Symbol]	EX. SANITARY MANHOLE
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[Symbol]	EX. WATER LINE	[Symbol]	EX. UTILITY POLE
[Symbol]	EX. ELECTRIC LINE	[Symbol]	PROPOSED CONTOURS
[Symbol]	EX. GAS LINE	[Symbol]	PROPOSED HEAVY DUTY CONCRETE
[Symbol]	EX. OVERHEAD WIRE	[Symbol]	PROPOSED SIDEWALK
[Symbol]		[Symbol]	DIRECTIONAL BORE

Schedule 70.5: Summary information on Development Impacts

Subdivision Name/Plan Name	TOTAL REAL ESTATE DEVELOPMENT	Year										Total	
		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10		
Planned start of construction date	10/2024												
Planned end of construction date	10/2024												
Dwelling units	0	0	0	0	0	0	0	0	0	0	0	0	0
Non-residential development square footage	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Trip generation from residences	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Trip generation from non-residential development	0	0	0	0	0	0	0	0	0	0	0	0	0
School population	0	0	0	0	0	0	0	0	0	0	0	0	0
Elementary	0	0	0	0	0	0	0	0	0	0	0	0	0
Middle	0	0	0	0	0	0	0	0	0	0	0	0	0
High	0	0	0	0	0	0	0	0	0	0	0	0	0
Average daily water usage	0	0	0	0	0	0	0	0	0	0	0	0	0
Average daily sewage flow	0	0	0	0	0	0	0	0	0	0	0	0	0
Fire suppression water supply and Stormwater Management	0	0	0	0	0	0	0	0	0	0	0	0	0

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 SITE CIVIL AND CONSULTING ENGINEERING
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REVISIONS

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 DRAWN BY: DR
 CHECKED BY: MP
 DATE: 01/19/2024
 CAD LID: SWCP-0

PROJECT:
CONCEPT SITE PLAN
 FOR
 TIDAL WAVE

PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 LOT 500-22
 TAX MAP 34, GRID 16, PARCEL 47
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STATE OF MARYLAND
 MATTHEW G. SEWERANT
 No. 43200
 1/2/2024
 PROFESSIONAL ENGINEER
 License No. 43200 Expiration Date: 12-30-2024

SHEET TITLE:
CONCEPT SITE PLAN

SHEET NUMBER:
3
 OF 7

ORG. DATE - 3/20/2024

SITE CIVIL AND CONSULTING ENGINEERING
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 LANDSCAPE ARCHITECTURE
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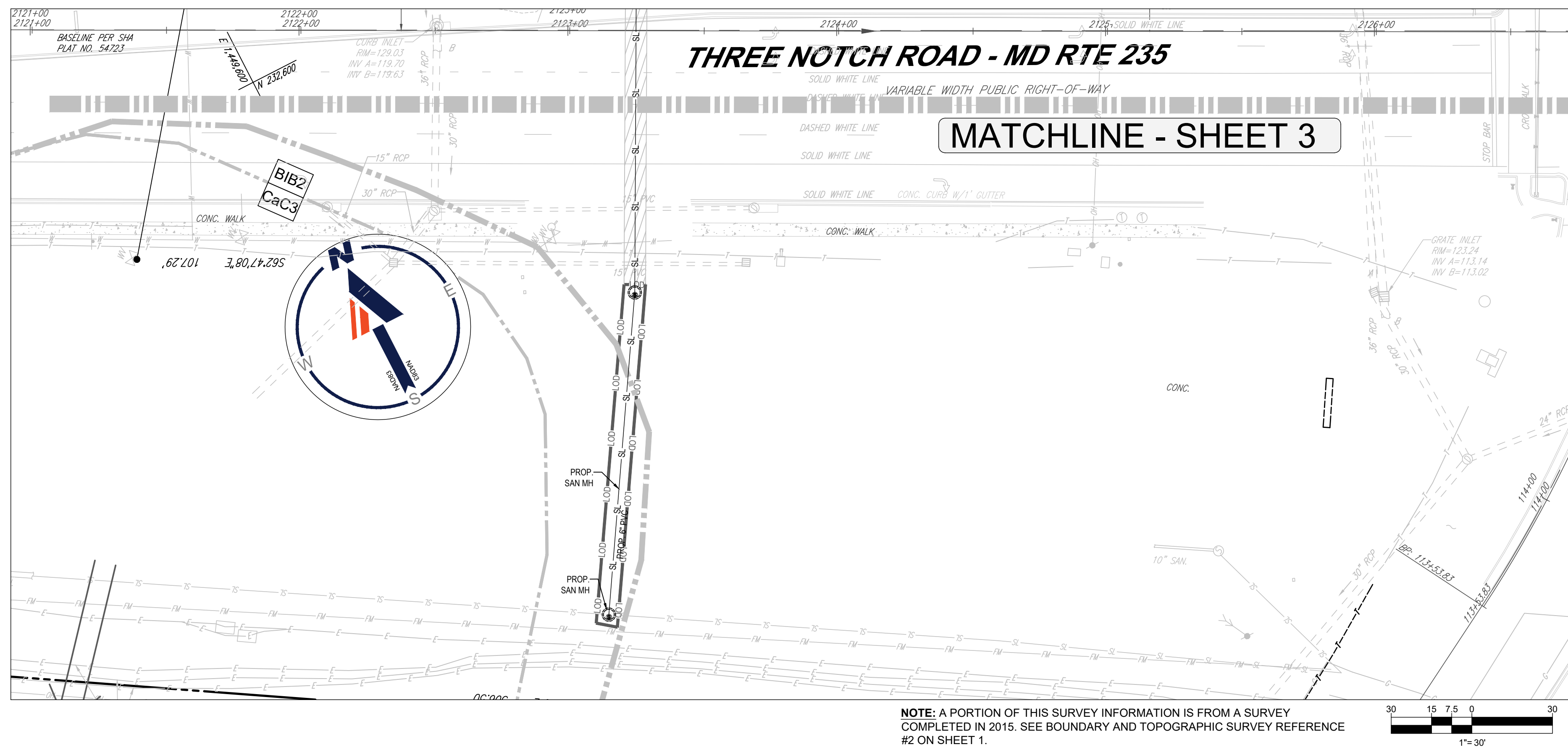
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 CSP23-0309

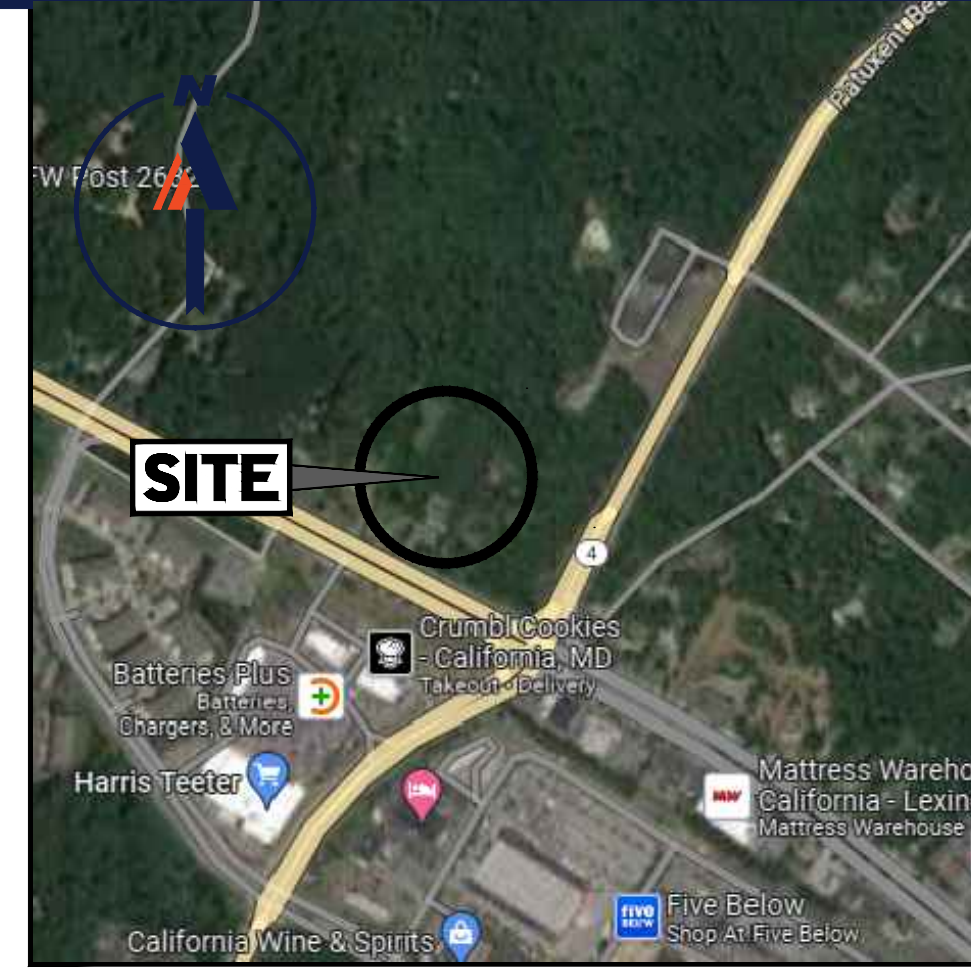
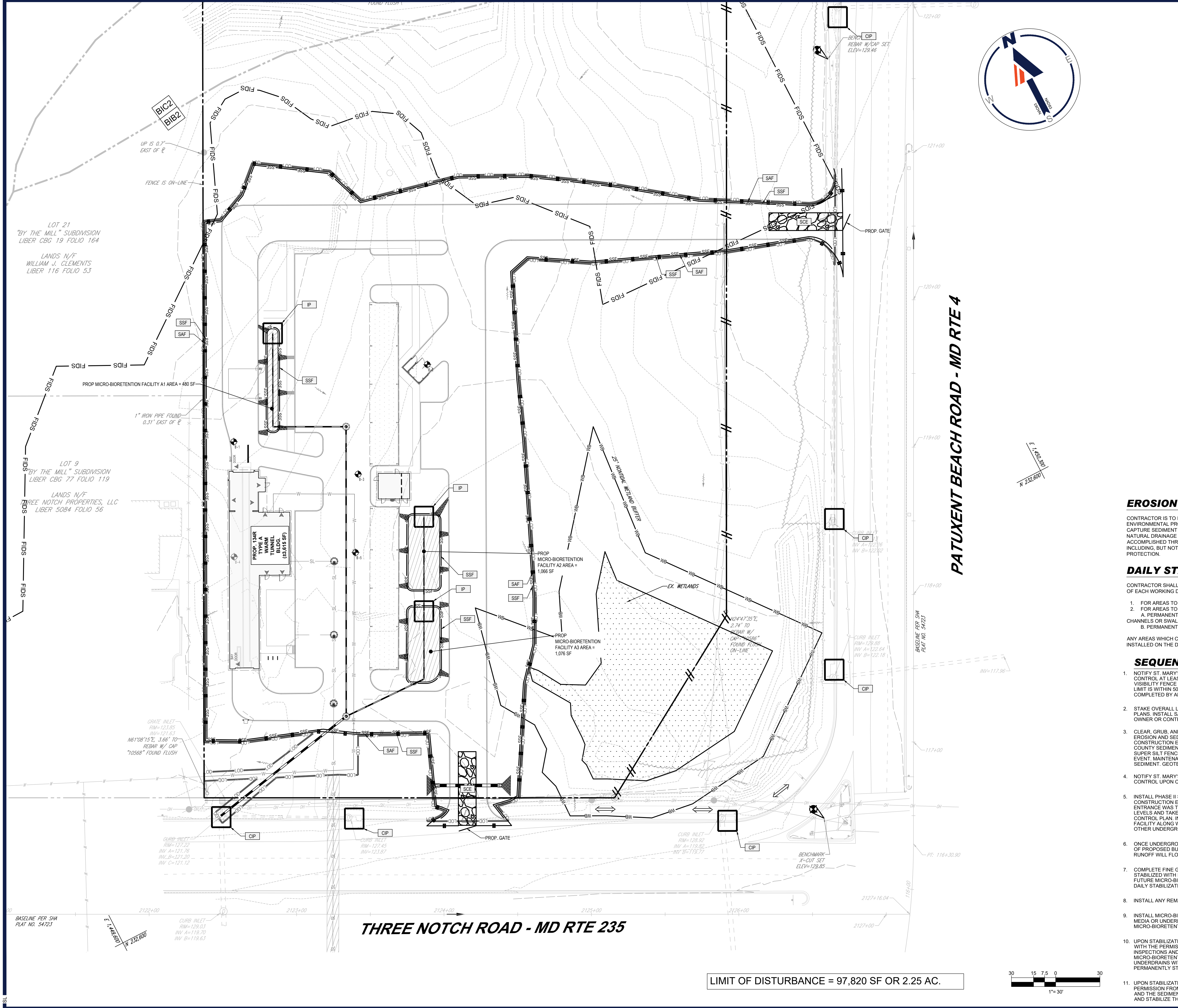
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SHEET TITLE:
CONCEPT SITE PLAN
 SHEET NUMBER:
4
 OF 7
 ORG. DATE - 3/20/2024



LEGEND	
	FLOW ARROWS
	ONSITE PROPERTY LINE / R.O.W. LINE
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
	EASEMENT LINE
	SETBACK LINES
	EXISTING CONTOURS
	EX. WATER LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	EX. OVERHEAD WIRE
	EX. STORM SEWER
	EX. SANITARY SEWER MAIN
	EX. FIRE HYDRANT
	EX. SANITARY MANHOLE
	EX. STORM MANHOLE
	EX. GRATE INLET
	EX. UTILITY POLE
	PROPOSED CONTOURS
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED SIDEWALK
	DIRECTIONAL BORE



LOCATION MAP
E&S LEGEND

CURB INLET PROTECTION	
LIMIT OF DISTURBANCE	
SILT FENCE	
SUPER SILT FENCE	
SILT FENCE ON PAVEMENT	
SAFETY FENCE	
STABILIZED CONSTRUCTION ENTRANCE	

EROSION AND SEDIMENT CONTROL NARRATIVE

CONTRACTOR IS TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL MEASURES TO ENSURE ENVIRONMENTAL PROTECTION IS PROVIDED. THE PURPOSE OF THESE EROSION CONTROL MEASURES IS TO CAPTURE SEDIMENT LOADED RUNOFF FROM THE CONSTRUCTION AREA BEFORE IT ENTERS EXISTING NATURAL DRAINAGE WAYS OR EXISTING PUBLIC STORM SEWER INFRASTRUCTURE. THIS WILL BE ACCOMPLISHED THROUGH A VARIETY OF PERIMETER CONTROL AND SEDIMENT TRAPPING METHODS INCLUDING, BUT NOT LIMITED TO, STABILIZED CONSTRUCTION ENTRANCES, SILT FENCE, AND INLET PROTECTION.

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:

- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE
- FOR AREAS TO BE VEGETATIVELY STABILIZED
 - A. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES
 - B. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN-SLOPE SIDE.

SEQUENCE OF CONSTRUCTION:

- NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK ON SITE. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT, THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE-CONSTRUCTION MEETING.
- STAKE OVERALL LIMIT OF DISTURBANCE PER THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. INSTALL SAFETY FENCE AROUND SITE IF NECESSARY. TO BE DETERMINED BY PROPERTY OWNER OR CONTRACTOR.
- CLEAR, GRUB, AND REMOVE ANY NECESSARY EXISTING FEATURES INTERFERING WITH PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES ONLY. INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER SILT FENCE AS DIRECTED BY THE ST. MARY'S COUNTY SEDIMENT CONTROL INSPECTOR AND AS SHOWN ON THE APPROVED PLANS. SILT FENCE AND SUPER SILT FENCE SHALL BE INSPECTED AND MAINTAINED EACH WEEK AND AFTER EACH STORM EVENT. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.
- NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMIT, APPROVAL AND INSPECTIONS, SEDIMENT CONTROL UPON COMPLETION OF SAID INSTALLATION.
- INSTALL PHASE II STABILIZED CONSTRUCTION ENTRANCE AND REMOVE PHASE I STABILIZED CONSTRUCTION ENTRANCE. INSTALL SUPER SILT FENCE WHERE PHASE I STABILIZED CONSTRUCTION ENTRANCE WAS TO CLOSE GAP IN PERIMETER CONTROLS. BEGIN EXCAVATION OF PROPOSED GARAGE LEVELS AND TAKE SPOIL TO A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. INSTALL PROPOSED UNDERGROUND STORM FILTERS AND UNDERGROUND DETENTION FACILITY ALONG WITH ASSOCIATED STORM DRAIN PIPES AND STRUCTURES. BEGIN INSTALLATION OF OTHER UNDERGROUND UTILITIES.
- ONCE UNDERGROUND UTILITIES ARE INSTALLED AND SUBGRADES REACHED, BEGIN CONSTRUCTION OF PROPOSED BUILDING. GRADES AROUND THE BUILDINGS SHOULD BE DESIGNED SUCH THAT ALL RUNOFF WILL FLOW AROUND THE BUILDING.
- COMPLETE FINE GRADING OF SITE. SITE SHALL BE BROUGHT TO GRADE AS SOON AS POSSIBLE AND STABILIZED WITH EITHER STONE SUBBASE OR PERMANENT SEED AND MULCH EXCEPT FOR THE FUTURE MICRO-BIORETENTION FACILITY AREAS. AREAS TO BE STABILIZED IN ACCORDANCE WITH DAILY STABILIZATION NOTE WHERE SHOWN ON THE PLANS.
- INSTALL ANY REMAINING STONE SUBBASE AND BEGIN PAVING.
- INSTALL MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS. DO NOT INSTALL FILTER MEDIA OR UNDERDRAINS AT THIS TIME. INSTALL INLET PROTECTION TO PROTECT MICRO-BIORETENTION FACILITIES AS THEY ARE INSTALLED.
- UPON STABILIZATION OF EACH CONTRIBUTING DRAINAGE AREA WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, INSTALL ALL LANDSCAPING, MICRO-BIORETENTION PLANTER FACILITIES (STONE AND MICRO-BIORETENTION SOIL) AND UNDERDRAINS WITHIN THE MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS AND PERMANENTLY STABILIZE FACILITIES.
- UPON STABILIZATION OF THE ENTIRE SITE WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.

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REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT: MDB230016.00

DRAWN BY:	DR
CHECKED BY:	MP
DATE:	01/19/2024
CAD ID:	EROS-0

CONCEPT SITE PLAN

FOR

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
ST MARY'S COUNTY
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47
CSP23-0309

BOHLER

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SHEET TITLE:

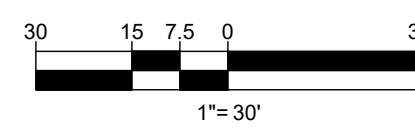
EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:

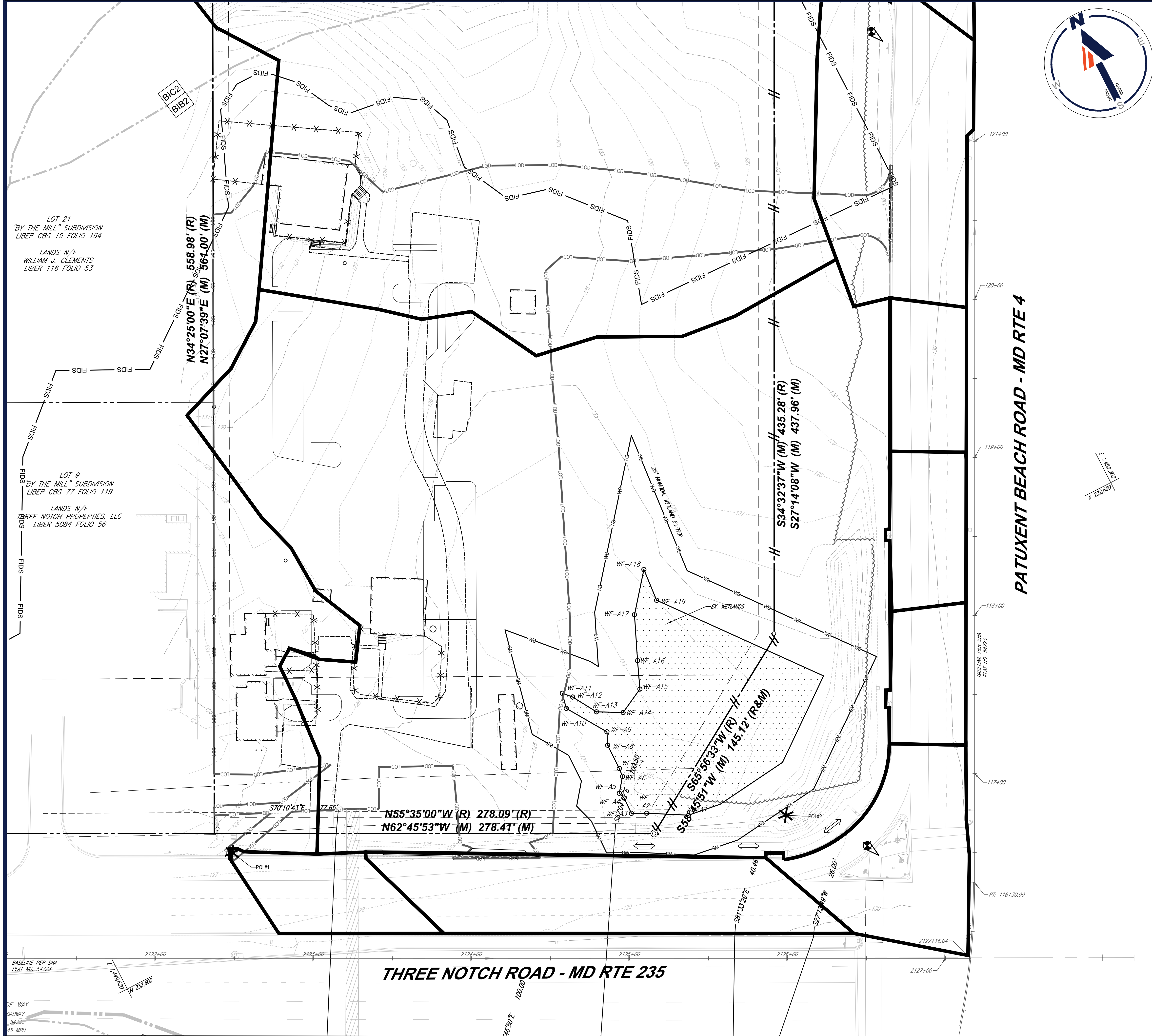
5
OF 7

ORG. DATE - 3/20/2024

LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.



Mar 20, 2024
 \BOHLER\EROSION AND SEDIMENT CONTROL\PROJECTS\MDB230016\00-EROSION\CONCEPTUAL SITE PLAN\MDB230016-00-EROSION-CONCEPTUAL SITE PLAN.DWG
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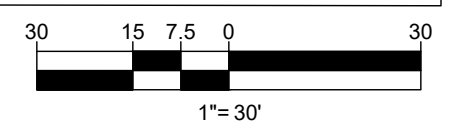


E 1,149.30'
N 232.600'

PATUXENT BEACH ROAD - MD RTE 4

THREE NOTCH ROAD - MD RTE 235

LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.



LEGEND			
	FLOW ARROWS		EX. SANITARY SEWER MAIN
	ONSITE PROPERTY LINE / ROW LINE		EX. FIRE HYDRANT
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE		EX. SANITARY MANHOLE
	EASEMENT LINE		EX. STORM MANHOLE
	SETBACK LINES		EX. GRATE INLET
	EXISTING CONTOURS		EX. UTILITY POLE
	EX. WATER LINE		PROPOSED CONTOURS
	EX. ELECTRIC LINE		PROPOSED HEAVY DUTY CONCRETE
	EX. GAS LINE		PROPOSED SIDEWALK
	EX. OVERHEAD WIRE		DIRECTIONAL BORE
	EX. STORM SEWER		EXISTING DRAINAGE DIVIDE

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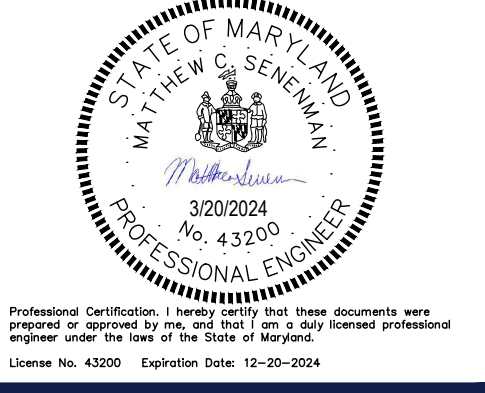
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PROJECT No.: MD230016.00
 DRAWN BY: DR
 CHECKED BY: MP
 DATE: 01/19/2024
 CAD ID: SWCP-0

PROJECT:
CONCEPT SITE PLAN
 FOR
 TIDAL WAVE
 PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 LOT 500-22
 TAX MAP 34, GRID 16, PARCEL 47
 CSP23-0309

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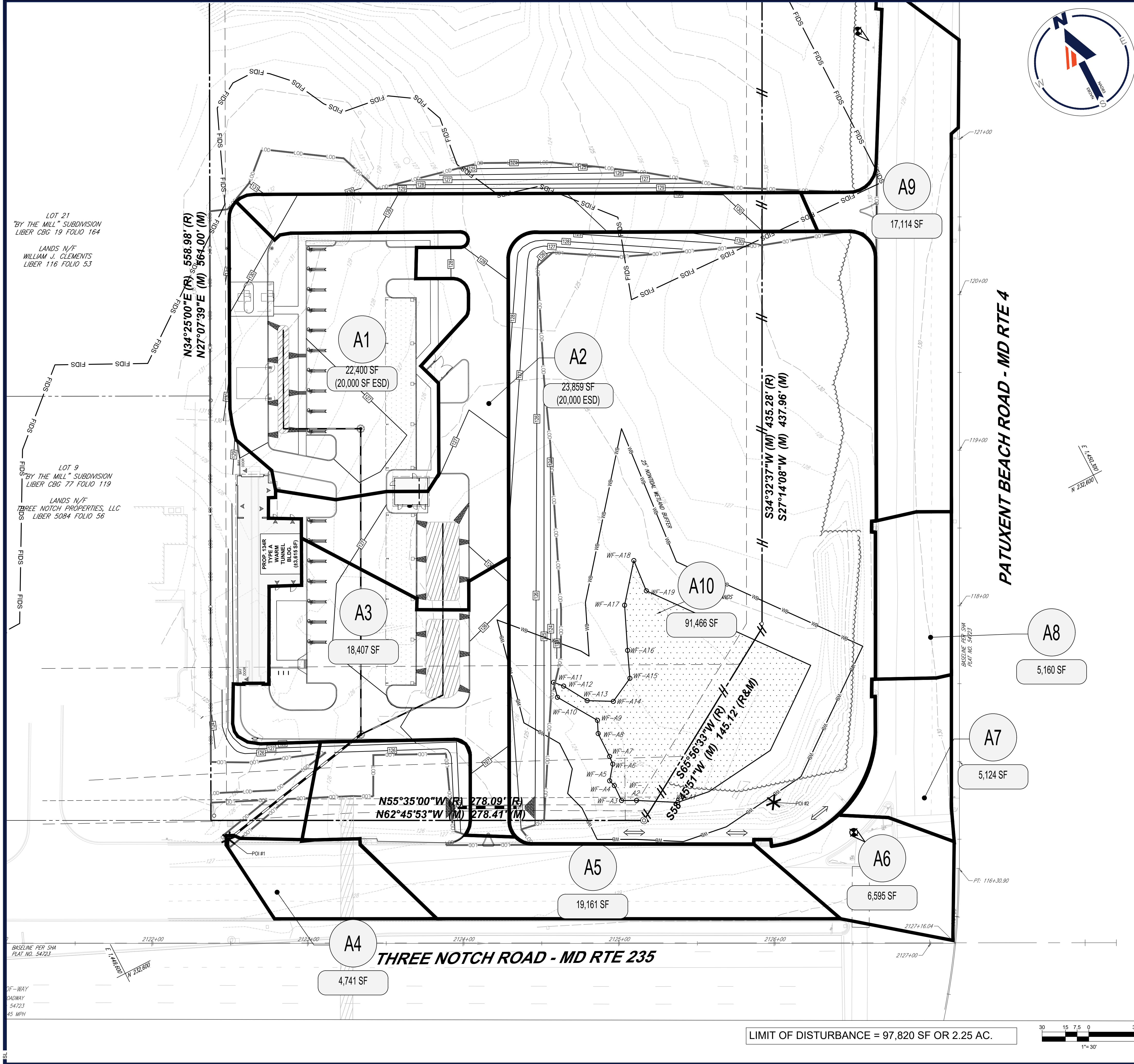


SHEET TITLE:
PRE-DEVELOPMENT DRAINAGE AREAS

SHEET NUMBER:
6
 OF 7

ORG. DATE - 3/20/2024

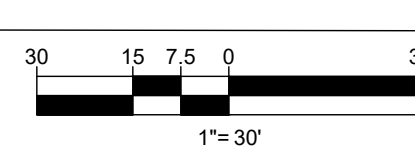
Mar 20, 2024
 BOHLER ENGINEERING MD PROJECT 230016.00 CAD DRAWINGS PLAN SETS CONCEPTUAL SITE PLAN MD230016.00 DRWG LAYOUT 6-PRF



PATUXENT BEACH ROAD - MD RTE 4

THREE NOTCH ROAD - MD RTE 235

LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.



LEGEND			
	FLOW ARROWS		EX. SANITARY SEWER MAIN
	ONSITE PROPERTY LINE / ROW LINE		EX. FIRE HYDRANT
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE		EX. SANITARY MANHOLE
	EASEMENT LINE		EX. STORM MANHOLE
	SETBACK LINES		EX. GRATE INLET
	EXISTING CONTOURS		EX. UTILITY POLE
	EX. WATER LINE		PROPOSED CONTOURS
	EX. ELECTRIC LINE		PROPOSED HEAVY DUTY CONCRETE
	EX. GAS LINE		PROPOSED SIDEWALK
	EX. OVERHEAD WIRE		DIRECTIONAL BORE
	EX. STORM SEWER		PROPOSED DRAINAGE DIVIDE

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DRAWN BY: DR
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DATE: 01/19/2024
CAD ID: SWCP-0

PROJECT:

CONCEPT SITE PLAN

FOR

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
ST MARY'S COUNTY
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47
CSP23-0309

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SHEET TITLE:

POST-DEVELOPMENT DRAINAGE AREAS

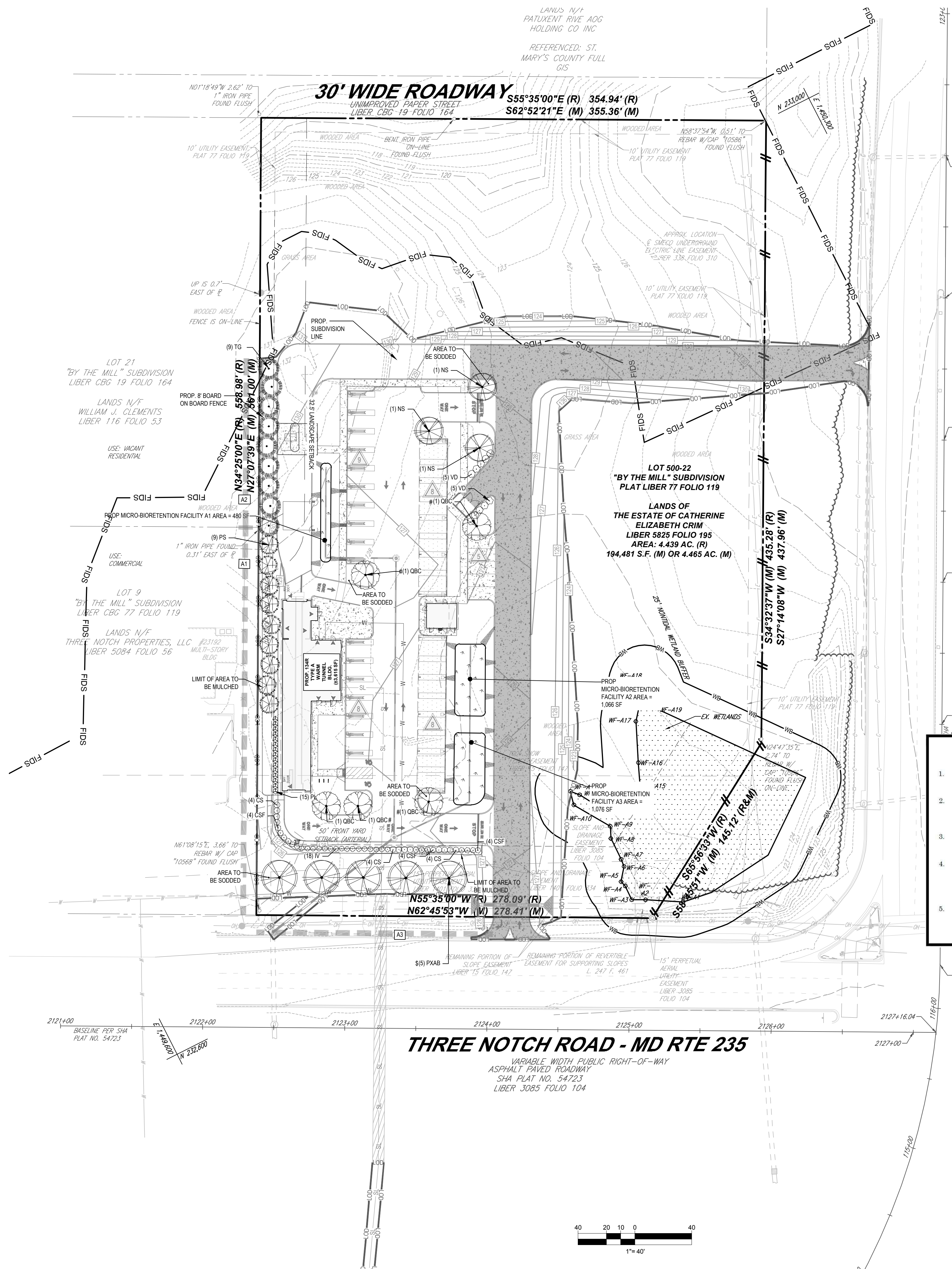
SHEET NUMBER:

7

OF 7

ORG. DATE - 3/20/2024

16701 MELFORD BLVD., SUITE 310, BOWIE, MD 20715
 MARYLAND PROFESSIONAL ENGINEERING BOARD
 LICENSE NO. 32509, EXPIRES 12-30-2024
 PROJECT: MDB230016.00 - TIDAL WAVE CAR WASH
 SHEET: POST-DEVELOPMENT DRAINAGE AREAS (7 OF 7)
 DATE: 01/19/2024
 DRAWN BY: DR
 CHECKED BY: MP
 CAD ID: SWCP-0



PATUXENT BEACH ROAD - MD RTE 4
 200' WIDE PUBLIC RIGHT-OF-WAY

- TIDAL WAVE LANDSCAPE NOTES**
- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODED. NO SEEDING SHALL BE USED.
 - ALL PLANT BEDS SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC AND HAVE 3" OF DYED BROWN OR BLACK WOOD MULCH WITH EDGING AS REQUIRED. NO PINE STRAW MULCH WILL BE ALLOWED.
 - ALL RIVER ROCK SHALL BE 4"-6" MINIMUM IN DIAMETER AND SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC.
 - AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL LOCAL MUNICIPAL CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
 - IF THERE IS NO PLANT BED AGAINST THE CAR WASH TUNNEL, VAC HOUSE(S), OR DUMPSTER ENCLOSURE, THEN THERE SHALL BE A 18 INCH MINIMUM STRIP OF RIVER ROCK INSTALLED.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES						
	NS	3	NYSSA SYLVATICA	SOUR GUM	2.5-3" CAL., 12-14' HT.	B&B
	PXAB	5	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	2.5-3" CAL., 12-14' HT.	B&B
	QBC	5	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5-3" CAL., 12-14' HT.	B&B
EVERGREEN TREES						
	PS	9	PINUS STROBUS	WHITE PINE	6-8'	B&B
	TG	9	THUJA STANDISHII X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	2.5" CAL.	
SHRUBS						
	CS	12	CORNUS SERICEA	RED TWIG DOGWOOD	24-36" HT. & SPRD	CONTAINER
	CSF	12	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	24-36" HT. & SPRD	CONTAINER
	IV	18	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA WILLOW HENRY'S GARNET	24-30" HT. & SPRD	CONTAINER
	PL	15	PRUNUS LAUROCERASUS	COMMON CHERRY LAUREL	24-30" HT. & SPRD	CONTAINER
	VD	10	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	30-36" HT. & SPRD	CONTAINER

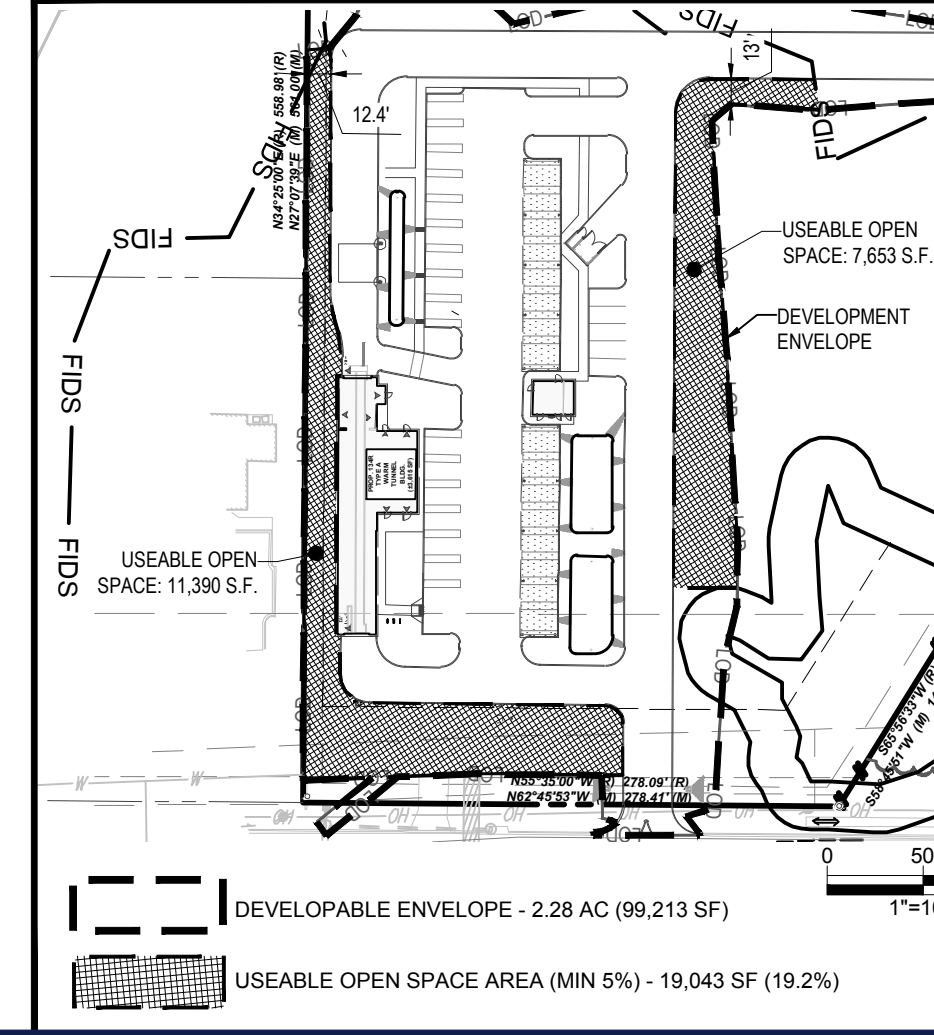
ST MARY'S COUNTY COMPLIANCE CHARTS

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED	COMPLIES/ DOES NOT COMPLY
63.2.4: DESIGN	STREET TREES A. ONE SHADE TREE PER 40 FEET	THREE NOTCH ROAD - MD RTE. 235 (A-3): 278 LF - 55 LF (ENTRANCE) = 223 LF REQUIRED; 116/40 = 2.9 TREES PROPOSED: 5 TREES THE "S" SYMBOL INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT ALONG WEST PROPERTY LINE.	COMPLIES
63.2.6: LANDSCAPING REQUIREMENTS FOR PARKING FACILITIES	C. TOTAL INTERIOR PLANTING SHALL BE AT LEAST 10% OF NET AREA OF THE PARKING FACILITIES C. 4) A MINIMUM OF ONE TREE FOR EVERY 10 SPACES	TOTAL PAVED AREA: 31,325 S.F. REQUIRED: 31,325 x 0.10 = 3,132.5 S.F. (10%) PROPOSED: 8,010 S.F. (25%) TOTAL PARKING SPACES: 33 REQUIRED: 33/10 = 4 TREES PROPOSED: 4 TREES THE "P" SYMBOL INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	COMPLIES
63.3.4: BUFFER YARD STANDARDS	TYPE "A" BUFFER: 15 FT WIDE; 2 CANOPY TREES, 4 UNDERSTORY TREES, 10 SHRUBS PER 100' TYPE "B" BUFFER: 65 FT WIDE; 4 CANOPY TREES, 7 UNDERSTORY TREES, 22 SHRUBS, 11 EVERGREEN PER 100' TYPE "C" BUFFER: 30 FT WIDE; 5 CANOPY TREES, 27 UNDERSTORY TREES, 27 SHRUBS, 14 EVERGREEN PER 100' AND 6' BERM OR FENCE	NORTH WEST PROPERTY LINE (MXM) (A-1) - BUFFER YARD REQUIRED 0' COMMERCIAL (L) ADJOINING COMMERCIAL (L) NORTH WEST PROPERTY LINE (A-2): TYPE "B" BUFFER 118 LF (PROPERTY LINE) = 118 LF/100 = 1.18 (1) REQUIRED: 5 CANOPY TREES, 6 UNDERSTORY TREES, 27 SHRUBS, 14 EVERGREENS, 50% REDUCTION OF 65' BUFFER WIDTH = 32.5' BUFFER (ADJACENT TO VACANT RESIDENTIAL) PROVIDED: A FENCE, 18 EVERGREEN TREES, 15 SHRUBS NOTE: 50% REDUCTION OF BUFFER YARD DUE TO VACANT ADJACENT RESIDENTIAL. THEREFORE ONLY HALF OF THE PLANT MATERIAL IS REQUIRED. VARIANCE WILL BE REQUESTED FOR 10' BUFFER IN LIEU OF 32.5' BUFFER	COMPLIES

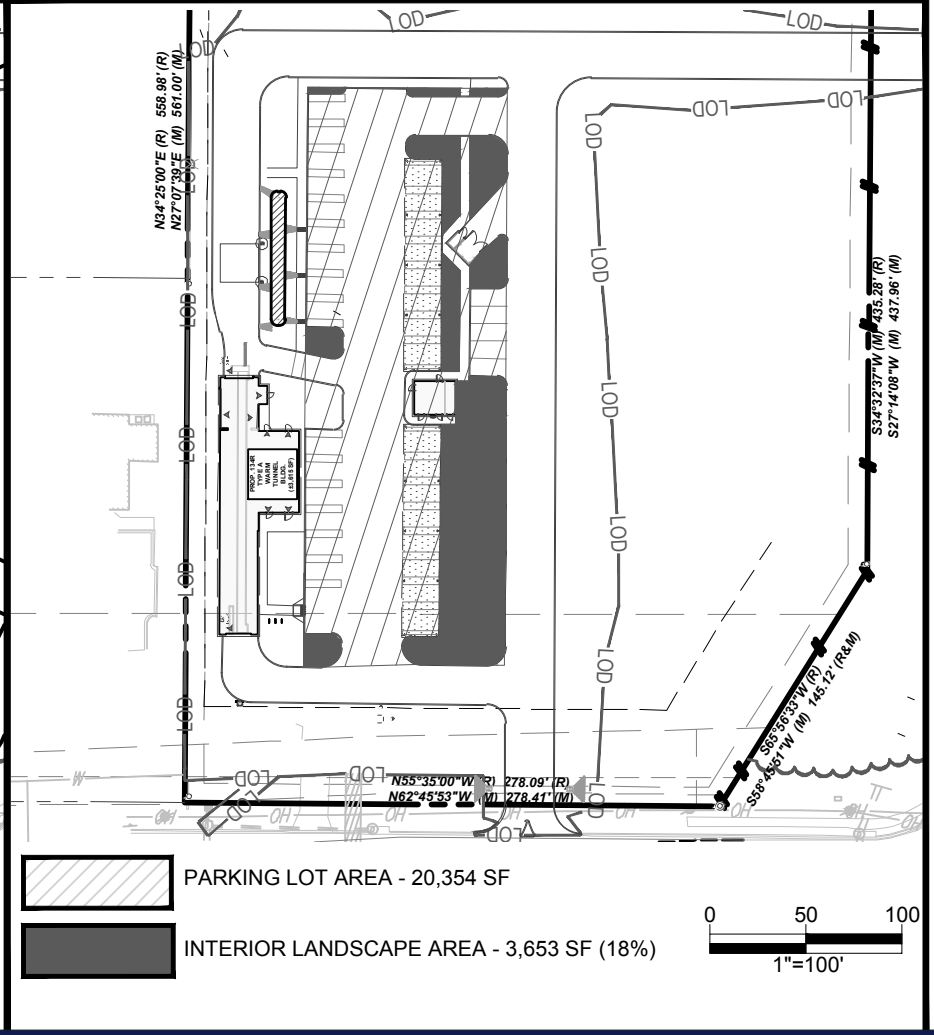
BIORETENTION AREAS PLANTING SCHEDULE

SPECIES		TYPE	SPACING	SIZE	FACILITY A1 (480 S.F.)	FACILITY A2 (1,066 S.F.)	FACILITY A3 (1,076 S.F.)	TOTAL
BOTANICAL NAME	COMMON NAME							
CLETHERA ALNIFOLIA	SWEET PEPPERBUSH	SHRUB	30" O.C.	1 GAL. CONT.	9	20	20	49
CORNUS AMMOMUM	SILKY DOGWOOD	SHRUB	30" O.C.	1 GAL. CONT.	9	20	20	49
RUBECKIA HIRTA	BLACK EYE SUSAN	PERENNIAL	12" O.C.	PLUG	54	119	120	293
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	PERENNIAL	12" O.C.	PLUG	54	119	120	293
RUBECKIA LACINIATA	TALL CONEFLOWER	PERENNIAL	12" O.C.	PLUG	54	119	120	293
JUNCUS EFFLUSUS	SOFT RUSH	PERENNIAL	12" O.C.	PLUG	107	237	240	584
SCIRPUS ACUTUS	HARDSTEMMED BULLRUSH	PERENNIAL	12" O.C.	PLUG	107	237	240	584

OPEN SPACE CALCULATIONS



PARKING GREEN SPACE CALCULATIONS



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 PROJECT No.: MDB230016.00
 DRAWN BY: DR/SL
 CHECKED BY: MPM/MS
 DATE: 3/20/2024
 CAD ID.: X-TTLB-MDB230016.00

LANDSCAPE PLAN
 FOR
 TIDAL WAVE
 PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 TAX MAP, PARCEL

BOHLER
 16701 MELFORD BLVD., SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com

E.R. McWILLIAMS
 08/16/2024
 REGISTERED LANDSCAPE ARCHITECT
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 3897 EXPIRATION DATE: 9/2024

SHEET TITLE:
LANDSCAPE PLAN
 CONCEPT SWM & E&S PLAN
C-701
 ORG. DATE - 01/19/2024

Aug 15, 2024
 C:\PROGRAMS\BOHLER\2024\CAD\2024\TEMP\PCP\LIB\ENR\24781000\2024\001\LSDF_CAD\LAYOUT_C-701_LANDSCAPE PLAN

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET		
LIMIT OF WORK	LOW	LOW
LIMIT OF DISTURBANCE	LOD	LOD
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
CURB AND GUTTER		
CONCRETE CURB & GUTTER		
SPILL TRANSITION		
DEPRESSED CURB AND GUTTER		
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	GRATE INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING

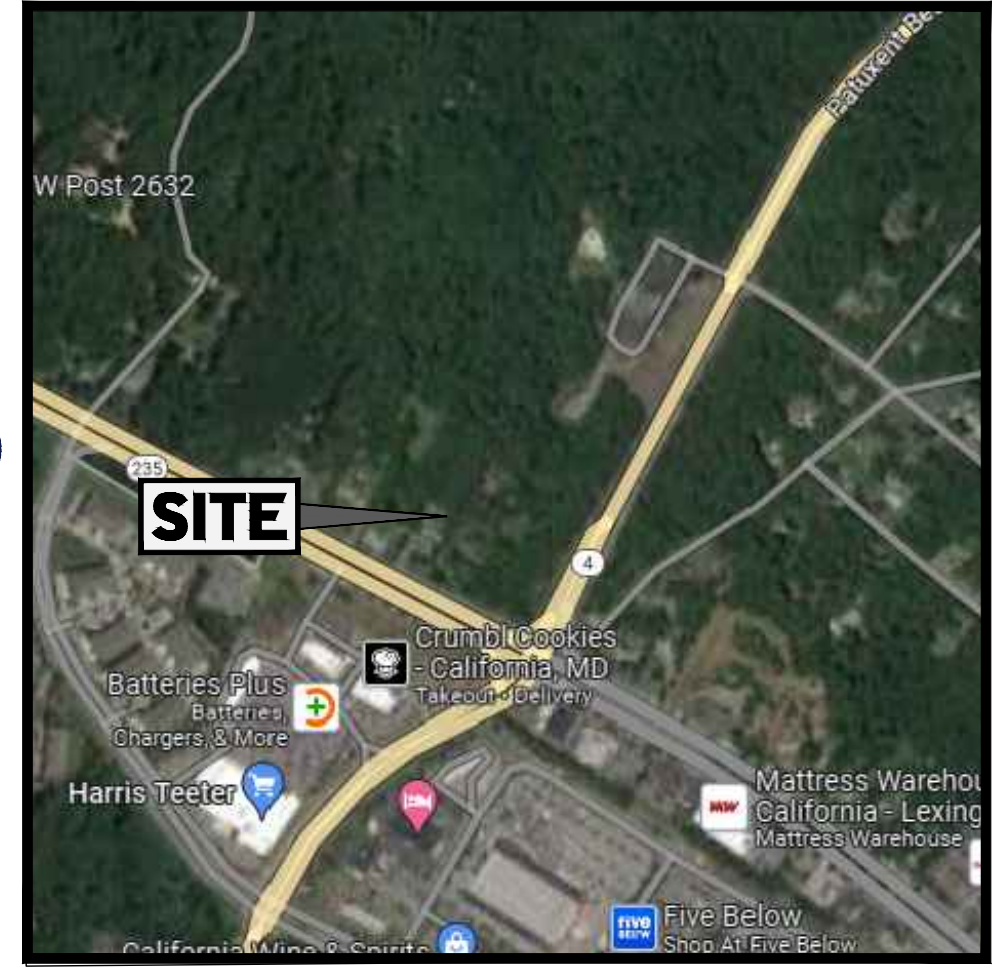
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
LP	LOW POINT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
SW	SIDEWALK
TBA	TO BE ABANDONED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TBV	TO BE VACATED
TC	TOP OF CURB
TELE	TELEPHONE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W	WIDE
WL	WATER LINE
W/M	WATER METER
±	PLUS OR MINUS
°	DEGREE
∅	DIAMETER
#	NUMBER

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET

CONCEPT STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL PLAN

FOR TIDAL WAVE AUTO SPA PROPOSED CAR WASH W/ DRIVE-THRU

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47



OWNER
MIKE MCGRATH
MIMCGRATH@FLANDL.COM
831-449-3791

SCALE: N.T.S.
PLAN REFERENCE: GOOGLE MAPS
PREPARED BY

DEVELOPER
MIKE MCGRATH
MIMCGRATH@FLANDL.COM
831-449-3791



16701 MELFORD BOULEVARD, SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
www.BohlerEngineering.com

CONTACT:

REFERENCES AND CONTACTS

REFERENCES	UTILITY INFORMATION FROM
<ul style="list-style-type: none"> BOUNDARY & TOPOGRAPHIC SURVEY: "NYA220451A1 TO SIGNED.PDF" DATED: 2/8/22 MDB230016.00 ELEVATIONS: NAVD 1988 GEOTECHNICAL INVESTIGATION REPORT: DATED: MM/DD/YYYY WETLAND DELINEATION FROM SURVEY: "MDB230016AL.T1.PDF" PREPARED BY: BOHLER ENGINEERING DATED: 06/16/23 	<ul style="list-style-type: none"> APPROVED ST MARYS MARKE PLACE PLANS: TITLE: "APPROVED MSR PHASE II PLANS.PDF" PREPARED BY: BOHLER ENGINEERING DATED: 01/25/21
<ul style="list-style-type: none"> ST MARY'S COUNTY DEPARTMENT OF LAND USE AND GROWTH MANAGEMENT: 23 LEONARD HALL DRIVE LEONARDTOWN, MD 20650 PHONE: (301) 475-4200 ST MARY'S COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION: 44825 ST. ANDREWS CHURCH ROAD CALIFORNIA, MD 20619 PHONE: (301) 963-9400 WATER AND SEWER METROPOLITAN COMMISSION: 43990 COMMERCE AVE. HOLLYWOOD, MD 20636 PHONE: (301) 373-4733 TELEPHONE: 3901 CALVERTON BLVD. 3RD FLOOR BELTSVILLE, MD 20705 PHONE: (301) 595-2332 LEONARDTOWN, MD 20650 PHONE: (301) 475-4200 	<ul style="list-style-type: none"> ST MARY'S COUNTY SOIL CONSERVATION DISTRICT: 28137 RADIO STATION WAY, SUITE B LEONARDTOWN, MD 20650 PHONE: (301) 475-8402 ST MARY'S COUNTY HEALTH DEPARTMENT: 21580 PEABODY STREET LEONARDTOWN, MD 20650 PHONE: (301) 475-4300 ELECTRIC: SMECO 23365 HOLLYWOOD RD LEONARDTOWN, MD 20650 PHONE: (301) 475-1582

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
EXISTING CONDITIONS AND PRE-DEVELOPMENT DRAINAGE AREA MAP	2
STORMWATER MANAGEMENT AND POST-DEVELOPMENT DRAINAGE AREA MAP	3
EROSION AND SEDIMENT CONTROL CONCEPT PLAN	4

CONSULTANTS CERTIFICATION

"I CERTIFY THAT THIS CONCEPT EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN REPRESENTS ALL SIGNIFICANT NATURAL RESOURCES BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE REVIEW AGENCIES. I HAVE REVIEWED THIS CONCEPT PLAN WITH THE OWNER/DEVELOPER."

SIGNATURE: *Matthew C. Senenman* MD LICENSE # 43200
PRINT NAME: MATTHEW C. SENENMAN, P.E. DATE: 01/12/24

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.:	MDB230016.00
DRAWN BY:	DR/SL
CHECKED BY:	MP/MS
DATE:	3/20/2024
CAD ID:	X-TTLB-MDB230016.00

STORMWATER MANAGEMENT CONCEPT PLAN

FOR
TIDAL WAVE

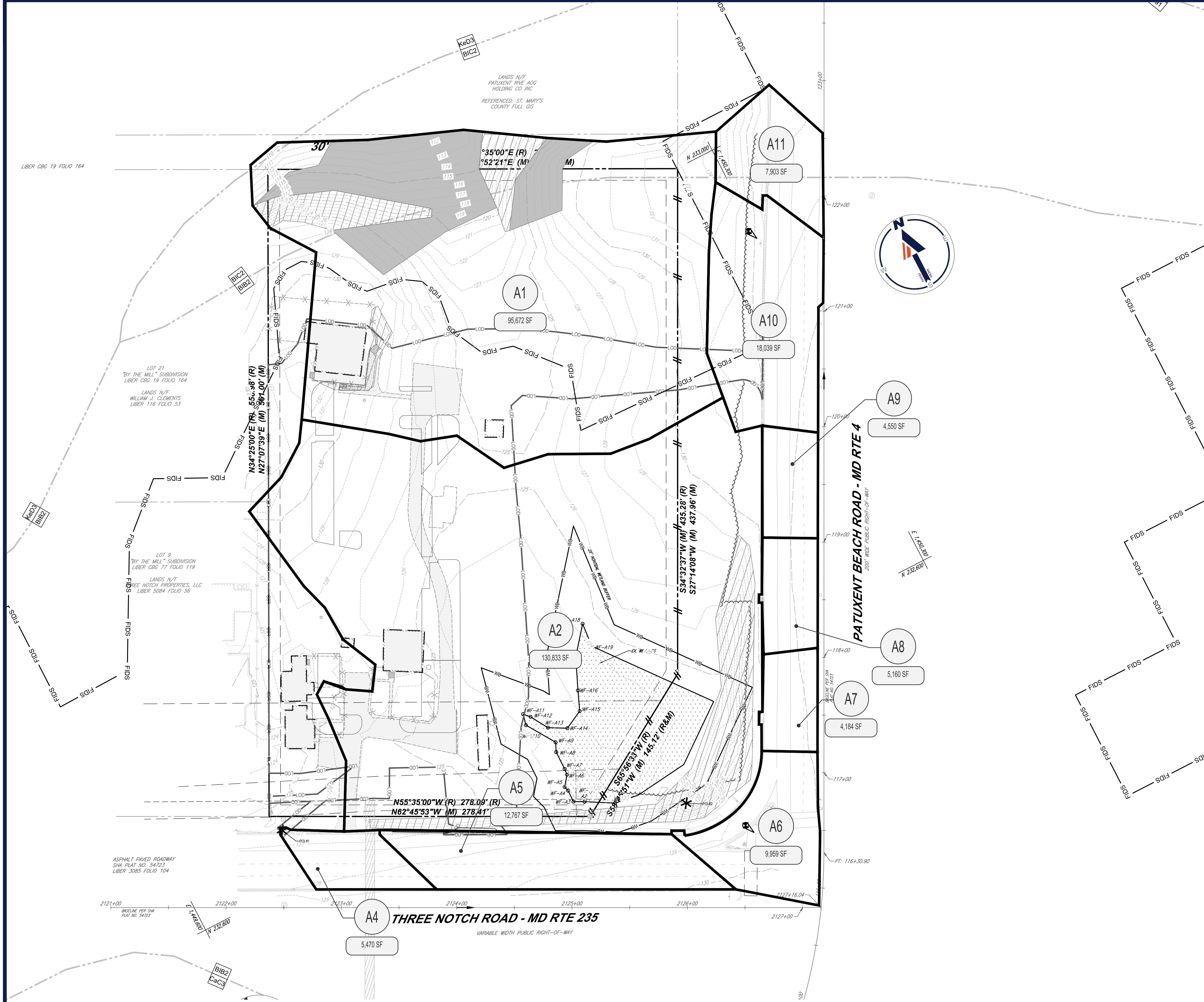
PROPOSED CAR WASH
23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
ST MARY'S COUNTY
TAX MAP, PARCEL

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BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
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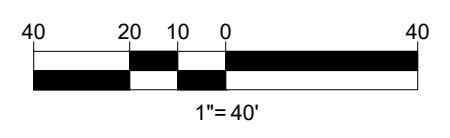
SHEET TITLE:
COVER SHEET
CONCEPT SWM & E&S PLAN
SHEET 1
OF 4
ORG. DATE - 01/19/2024

Mar 20, 2024 10:08 AM I:\Projects\2023\230016\00\CD\CONCEPTUAL SWM\MDB230016.00\CD\NSD-0-4-KAYOUT-1.COVER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORKS AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND CODES.



LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.



LEGEND	
	ZONE LINE
	ONSITE PROPERTY LINE / R.O.W. LINE
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
	EASEMENT LINE
	SETBACK LINES
	EXISTING CONTOURS
	SOILS BOUNDARY
	SOILS TYPE
	EX. WATER LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	EX. OVERHEAD WIRE
	EX. STORM SEWER
	EX. SANITARY SEWER MAIN
	EX. FIRE HYDRANT
	EX. SANITARY MANHOLE
	EX. STORM MANHOLE
	EX. GRATE INLET
	EX. UTILITY POLE
	PROPOSED CONTOURS
	EXISTING IMPERVIOUS AREA
	DRAINAGE AREA DIVIDE
	EXISTING 15% SLOPE
	EXISTING 25% SLOPE
	EXISTING WETLAND TO REMAIN
	RIGHT-OF-WAY OF THROUGH HIGHWAY DENIED ACCESS
	FIDS HABITAT DELINEATION

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STORMWATER MANAGEMENT CONCEPT PLAN
 FOR
TIDAL WAVE
 PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 TAX MAP, PARCEL

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MATTHEW C. SEWERANT
 No. 43283
 3/20/2024
 PROFESSIONAL ENGINEER

SHEET TITLE: **EXISTING CONDITIONS AND PRE-DEVELOPMENT DRAINAGE AREA MAP**
 CONCEPT SWM & E&S PLAN
 SHEET 2 OF 4
 ORG. DATE - 01/19/2024

Mar 20, 2024
 BOHLER ENGINEERING, INC. PROJECT: 230016.00 - TIDAL WAVE - CONCEPT SWM & E&S PLAN - SHEET 2 OF 4
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STORMWATER MANAGEMENT CONCEPT PLAN

FOR
TIDAL WAVE
 PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 TAX MAP, PARCEL

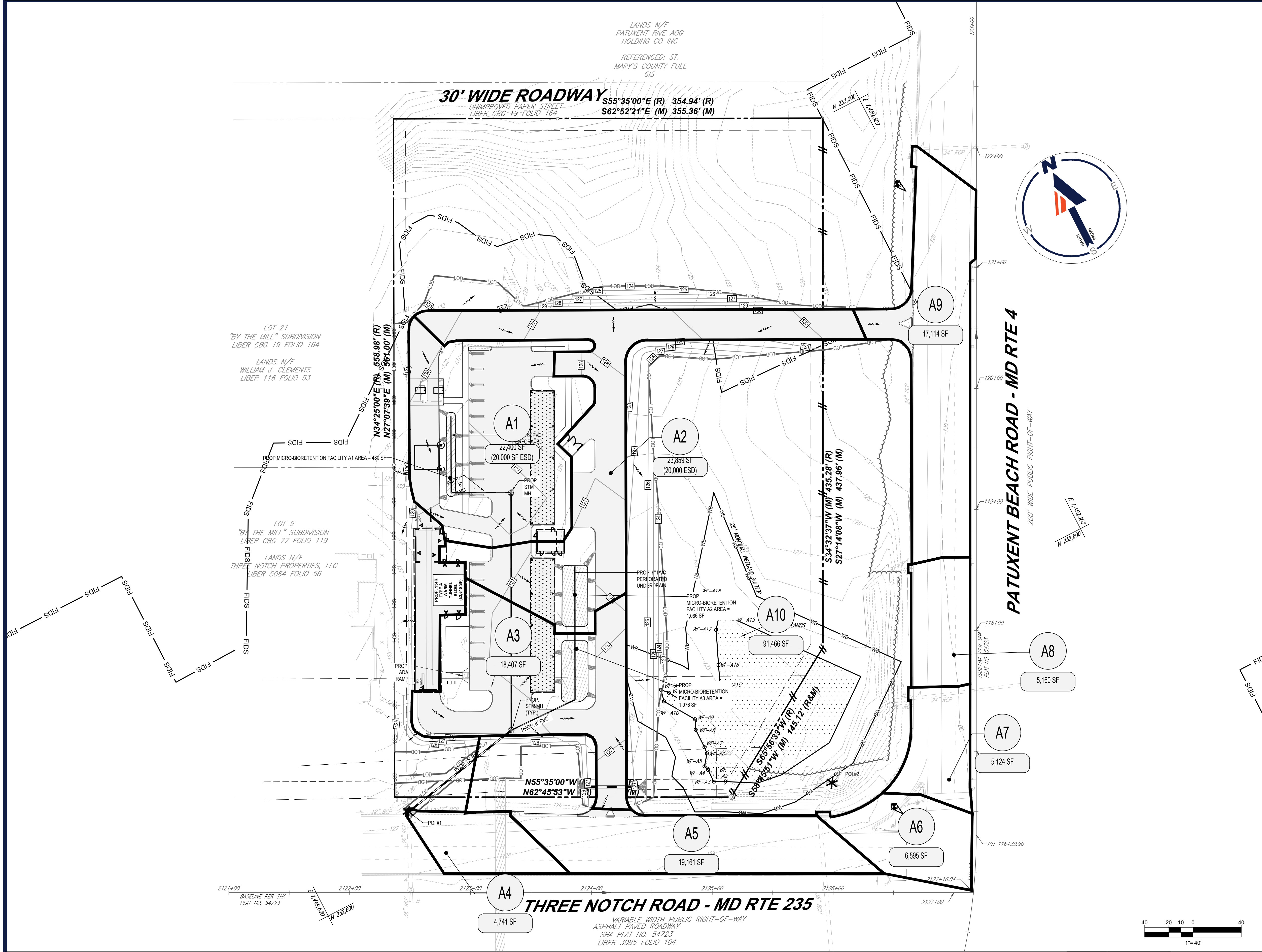
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STORMWATER MANAGEMENT AND POST DEVELOPMENT DRAINAGE AREA MAP

CONCEPT SWM & ESD PLAN
 SHEET 3
 OF 4

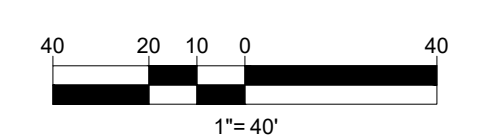
ORG. DATE - 01/19/2024



LEGEND

---	ZONE LINE
---	ONSITE PROPERTY LINE / R.O.W. LINE
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
---	EASEMENT LINE
---	SETBACK LINES
---	EXISTING CONTOURS
---	SOILS BOUNDARY
XxX	SOILS TYPE
---	EX. WATER LINE
---	EX. ELECTRIC LINE
---	EX. GAS LINE
---	EX. OVERHEAD WIRE
---	EX. STORM SEWER
---	EX. SANITARY SEWER MAIN
---	EX. FIRE HYDRANT
---	EX. SANITARY MANHOLE
---	EX. STORM MANHOLE
---	EX. GRATE INLET
---	EX. UTILITY POLE
---	PROPOSED CONTOURS
---	PROPOSED IMPERVIOUS AREA
---	DRAINAGE AREA DIVIDE

- NOTE:**
- THE NATURAL RESOURCES MAP HAS BEEN FIELD VERIFIED BY THE PROJECT ENGINEER.
 - BIORETENTION FACILITIES WERE CHOSEN FOR THIS SITE BECAUSE THE MAJORITY OF THE SITE WILL BE COVERED BY THE PROPOSED BUILDING AND PARKING AREAS. SHEET FLOW WITHIN THE PARKING LOT WILL BE ROUTED TO THESE FACILITIES THROUGH CURB CUTS. RIP RAP WILL BE INSTALLED AT THESE CURB CUTS FOR PRE-TREATMENT.



STORMWATER MANAGEMENT OVERALL SUMMARY

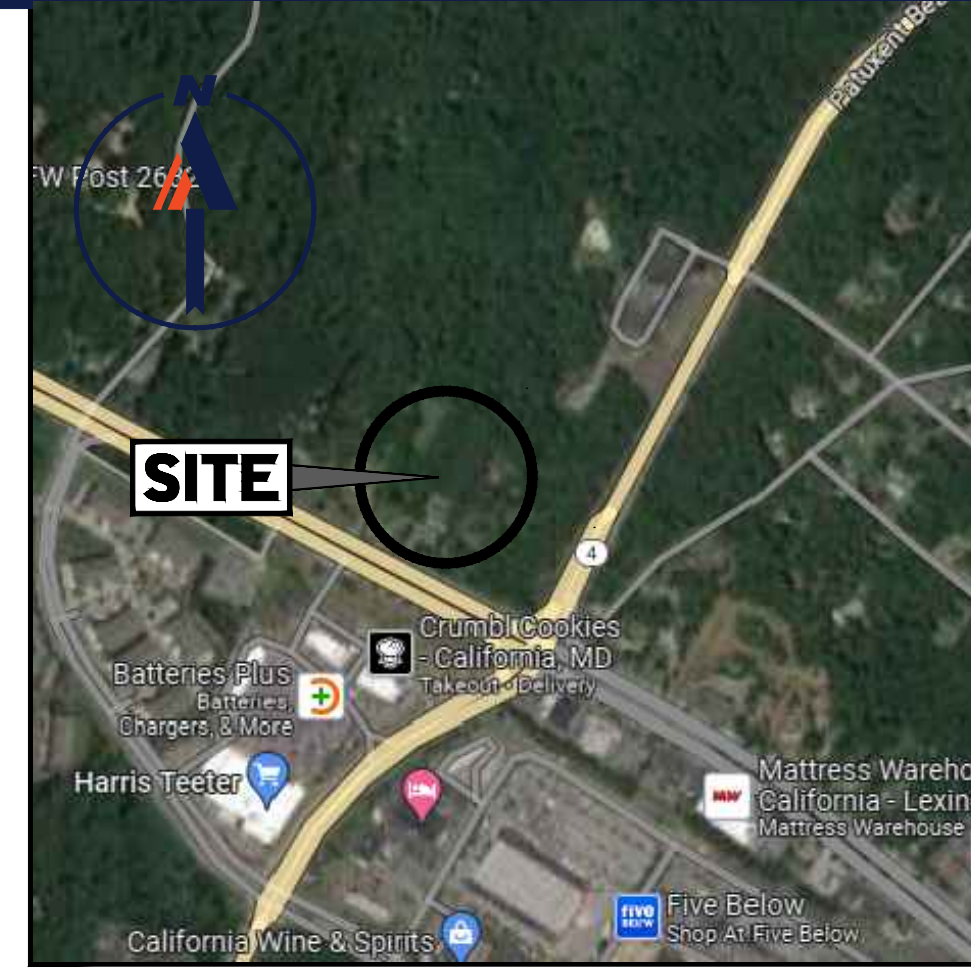
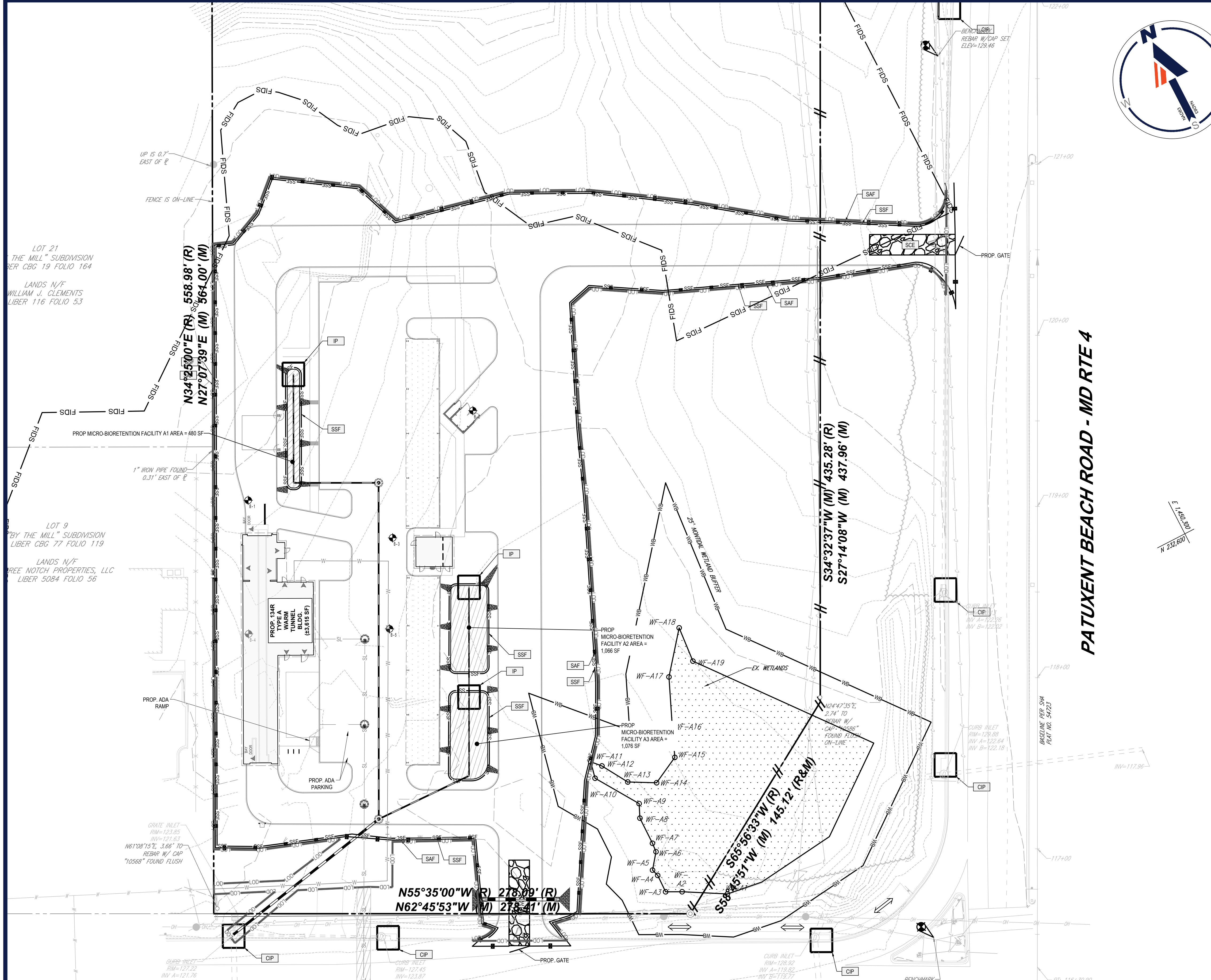
SITE AREA (Ac)	PROPOSED IMPERVIOUS AREA (Ac)	PERCENT IMPERVIOUS	Rv	TARGET P _e (in)	S	REQUIRED REV	REQUIRED ESDv
4.44	1.25	55.90%	0.55	1.80	4.29	N/A	4540

LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.

ESD PRACTICES

PRACTICE NUMBER	TYPE	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	TARGET P _e	TARGET ESDv (CF)	ESDv PROVIDED (CF)	MAX ESDv ALLOWABLE (CF)	REV PROVIDED	P _e PROVIDED (in)	AS-BUILT ESDv	AS-BUILT PE
A1	MICRO-BIORETENTION (M-6)	20,000	20,000	1.80	1,555	2,414	4,117	N/A	1.52		
A2	MICRO-BIORETENTION (M-6)	20,000	15,313	1.80	1,555	3,159	3,202	N/A	2.56		
A3	MICRO-BIORETENTION (M-6)	18,407	14,465	1.80	1,431	3,159	3,019	N/A	2.07		
TOTALS		58,407	49,778		4,541	8,732	10,338	N/A			

	Q (cfs)	V (Ac-ft)	D (in)	
POW1	1-YEAR PRE	0.17	0.022	2.37
	1-YEAR POST	1.39	0.139	1.07
	10-YEAR PRE	0.32	0.044	4.71
	10-YEAR POST	7.83	0.438	3.38
	100-YEAR PRE	0.55	0.077	8.27
POW2	1-YEAR POST	13.63	0.901	6.94
	1-YEAR PRE	1.12	0.146	0.58
	1-YEAR POST	1.58	0.16	0.76
	10-YEAR PRE	4.54	0.54	2.16
	10-YEAR POST	5.37	0.516	2.44
TOTALS	100-YEAR PRE	10.76	1.288	5.15
	100-YEAR POST	11.98	1.169	5.52



LOCATION MAP

E&S LEGEND

CURB INLET PROTECTION	
LIMIT OF DISTURBANCE	
SILT FENCE	
SUPER SILT FENCE	
SILT FENCE ON PAVEMENT	
SAFETY FENCE	
STABILIZED CONSTRUCTION ENTRANCE	

LEGEND

	ZONE LINE
	ONSITE PROPERTY LINE / R.O.W. LINE
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
	EASEMENT LINE
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	EX. SANITARY MANHOLE
	EX. STORM MANHOLE
	EX. GRATE INLET
	EX. UTILITY POLE
	BORING LOCATION

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:

- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE
- FOR AREAS TO BE VEGETATIVELY STABILIZED
 - PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD
 - FOR ALL STEEP SLOPES, CHANNELS OR SWALES
 - PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

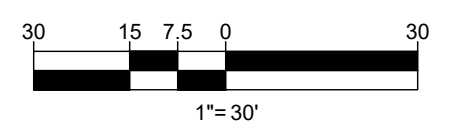
SEQUENCE OF CONSTRUCTION:

- NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL, AT LEAST 48 HOURS PRIOR TO BEGINNING WORK ON SITE. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT. THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE-CONSTRUCTION MEETING.
- STAKE OVERALL LIMIT OF DISTURBANCE PER THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. INSTALL SAFETY FENCE AROUND SITE IF NECESSARY. TO BE DETERMINED BY PROPERTY OWNER OR CONTRACTOR.
- CLEAR, GRUB, AND REMOVE ANY NECESSARY EXISTING FEATURES INTERFERING WITH PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES ONLY. INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER SILT FENCE AS DIRECTED BY THE ST. MARY'S COUNTY SEDIMENT CONTROL INSPECTOR AND AS SHOWN ON THE APPROVED PLANS. SILT FENCE AND SUPER SILT FENCE SHALL BE INSPECTED AND MAINTAINED EACH WEEK AND AFTER EACH STORM EVENT. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.
- NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMIT, APPROVAL AND INSPECTIONS, SEDIMENT CONTROL UPON COMPLETION OF SAID INSTALLATION.
- INSTALL PHASE II STABILIZED CONSTRUCTION ENTRANCE AND REMOVE PHASE I STABILIZED CONSTRUCTION ENTRANCE. INSTALL SUPER SILT FENCE WHERE PHASE I STABILIZED CONSTRUCTION ENTRANCE WAS TO CLOSE GAP IN PERIMETER CONTROLS. BEGIN EXCAVATION OF PROPOSED STORM CHANGES AND TAKE SPOIL TO A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. INSTALL PROPOSED UNDERGROUND STORM FILTER AND UNDERGROUND DETENTION FACILITY ALONG WITH ASSOCIATED STORAGE TANKS AND STRUCTURES. BEGIN INSTALLATION OF OTHER UNDERGROUND UTILITIES.
- ONCE UNDERGROUND UTILITIES ARE INSTALLED AND SUBGRADES REACHED, BEGIN CONSTRUCTION OF PROPOSED BUILDING, GRADES AROUND THE BUILDINGS SHOULD BE DESIGNED SUCH THAT ALL RUNOFF WILL FLOW AROUND THE BUILDING.
- COMPLETE FINE GRADING OF SITE. SITE SHALL BE BROUGHT TO GRADE AS SOON AS POSSIBLE AND STABILIZED WITH EITHER STONE SUBBASE OR PERMANENT SEED AND MULCH EXCEPT FOR THE FUTURE MICRO-BIORETENTION FACILITY AREAS. AREAS TO BE STABILIZED IN ACCORDANCE WITH DAILY STABILIZATION NOTE WHERE SHOWN ON THE PLANS.
- INSTALL ANY REMAINING STONE SUBBASE AND BEGIN PAVING.
- INSTALL MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS. DO NOT INSTALL FILTER MEDIA OR UNDERDRAINS AT THIS TIME. INSTALL INLET PROTECTION TO PROTECT MICRO-BIORETENTION FACILITIES AS THEY ARE INSTALLED.
- UPON STABILIZATION OF EACH CONTRIBUTING DRAINAGE AREA WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, INSTALL ALL LANDSCAPING, MICRO-BIORETENTION PLANTER FACILITIES (STONE AND MICRO-BIORETENTION SOIL) AND UNDERDRAINS WITHIN THE MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS AND PERMANENTLY STABILIZE FACILITIES.
- UPON STABILIZATION OF THE ENTIRE SITE WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.

LIMIT OF DISTURBANCE = 97,820 SF OR 2.25 AC.

EROSION AND SEDIMENT CONTROL NARRATIVE

CONTRACTOR IS TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL MEASURES TO ENSURE ENVIRONMENTAL PROTECTION IS PROVIDED. THE PURPOSE OF THESE EROSION CONTROL MEASURES IS TO CAPTURE SEDIMENT LAIDEN RUNOFF FROM THE CONSTRUCTION AREA BEFORE IT ENTERS EXISTING NATURAL DRAINAGE WAYS OR EXISTING PUBLIC STORM SEWER INFRASTRUCTURE. THIS WILL BE ACCOMPLISHED THROUGH A VARIETY OF PERIMETER CONTROL AND SEDIMENT TRAPPING METHODS INCLUDING, BUT NOT LIMITED TO, STABILIZED CONSTRUCTION ENTRANCES, SILT FENCE, AND INLET PROTECTION.



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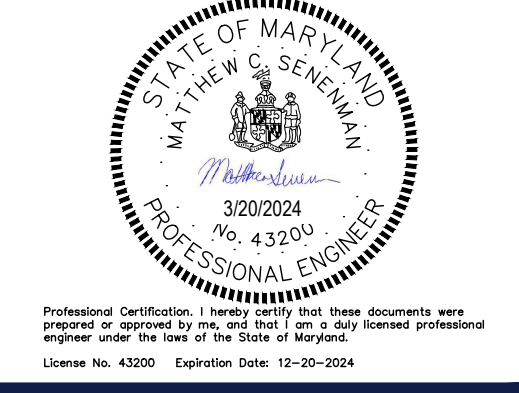
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 CAD ID: X-TTLB-MDB2-3BR630

STORMWATER MANAGEMENT CONCEPT PLAN

TIDAL WAVE
 PROPOSED CAR WASH
 23178 THREE NOTCH ROAD
 CALIFORNIA, MD 20619
 ST MARY'S COUNTY
 TAX MAP, PARCEL

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 16701 MELFORD BLVD., SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com



EROSION & SEDIMENT CONTROL CONCEPT PLAN

CONCEPT SWM & E&S PLAN
 SHEET 4
 OF 4
 ORG. DATE - 01/19/2024

